

Village of Itasca

550 W. Irving Park Rd., Itasca, Illinois 60143-2018

Village Board Meeting Agenda

August 2, 2016

7:30 p.m.

(Special time due to National Night Out)

President: Jeffery J. Pruyn
Trustees: Jeff Aiani
Marty Hower
Michael J. Latoria
Ellen Leahy
Frank J. Madaras
Lucy Santorsola
Clerk: Melody J. Craven
Administrator: Evan Teich

Phone: 630.773.0835
FAX: 630.773.2505

1. Call to Order; Roll Call
2. Pledge of Allegiance
3. Audience Participation
4. Presentation of Village Board Meeting Minutes of June 21st, 2016

Documents:

[20160621 VLG BD MTG MINUTES.PDF](#)

5. Presentation of Village Board Meeting Minutes of July 19th, 2016

Documents:

[20160719 VLG BD MTG MINUTES.PDF](#)

6. President's Comments

- a. Reminder for BASSET Training Special Village Board Meeting on Tuesday, August 9th at 6:30PM (No Village Board Action Items)

7. Community Development Committee
Trustee Latoria, Chairperson

- a. Discussion and possible action concerning Ordinance #1810-16, "An Ordinance Granting Relief from the Itasca Building Code for 400 E. Orchard Street (Itasca Country Club)"

Documents:

[ORD NO 1810-16.PDF](#)

[CODE RELIEF MEMO.PDF](#)

- b. Discussion and possible action concerning Ordinance #1811-16, "An Ordinance Granting Variances for 730 N. Catalpa (Franzen School)"

Documents:

[VB PACKET- FRANZEN SCHOOL- 730 N. CATALPA.PDF](#)
[ORD NO 1811-16.PDF](#)

- 8. Administration Committee
Trustee Santorsola, Chairperson
- 9. Environmental Committee
Trustee Leahy, Chairperson
- 10. Finance Committee
Trustee Hower, Chairperson
- a. Presentation of Clerk's Report for June 2016

Documents:

[JUNE2016CLK.RPT.PDF](#)

- 11. Public Safety Committee
Trustee Madaras, Chairperson
- 12. Public Works/Infrastructure Committee
Trustee Aiani, Chairperson
- a. Discussion and possible action concerning Resolution #888-16, "A Resolution Authorizing Acceptance of Triangle Decorating Company's Offer for Painting and Repairing Usher Park Gazebo and Swan House"

Documents:

[PAINTINGUSHERPARKSWANHOUSE.PDF](#)
[RES NO 888-16.PDF](#)

- 13. Consent Agenda
- 14. Voucher dated August 2nd, 2016
- 15. Department Head Reports
- 16. Executive Session
- 17. Adjournment



Evan Teich, Village Administrator



Melody J. Craven, Village Clerk

VILLAGE OF ITASCA BOARD OF TRUSTEES MEETING MINUTES

June 21, 2016 – 7:00PM

- Call to Order:** Mayor Jeff Pruyn called the Village Board Meeting to order at 7:05 PM.
- Roll Call:** Present: Trustees – Marty Hower, Jeff Aiani, Ellen Leahy, Lucy Santorsola, Mike Latoria, Frank Madaras; Village Clerk – Melody Craven.
- Also present: Village Administrator – Evan Teich; Village Attorney – Chuck Hervas; Chief of Police – Robert O’Connor; Public Works Director – Ross Hitchcock; Community Development Director – Nancy Hill; Finance Director – Julie Ciesla; Village Engineering Consultant – Aaron Fundich.
- Pledge of Allegiance:** Mayor Pruyn led everyone in saying the Pledge of Allegiance.
- Audience Participation:** David Schultz, 405 E Center Street, wanted to address the Board as a resident and an architect regarding a project that’s in submission. He suggested implementing administrative variances for small-scale building projects.
- President’s Comments:** Mayor Pruyn asked if there were any objections to moving the Environmental Committee up in the agenda. There were none.
- Environmental Committee:** Trustee Leahy introduced Maryfran Leno, Executive Director of the Itasca Park District, who gave a presentation regarding the Northern Illinois Raptor Center’s new agreement with the Itasca Nature Center. Maryfran Leno explained that the agreement states the Northern Illinois Raptor Center would supply various raptors, or birds, to the Itasca Nature Center’s mews, or habitat. The Raptor Center would manage, feed, and clean up after the birds. The Park District would allow the Raptor Center to do programming in the Nature Center. She assured the Village Board that this would not cost the Village any additional costs and that the Itasca Park District would take full responsibility of the project.
- Community Development Committee:** Trustee Latoria presented discussion and possible action concerning a New Business License Application for Dr. John A. Guerrieri DDS, a dental practice, to be located at 421 W. Irving Park Road. Hearing no objections, Trustee Latoria made a motion to approve the New Business License Application. Trustee Aiani seconded the motion. Roll Call Vote: Ayes – Trustees Hower, Leahy, Aiani, Latoria, Madaras, and Santorsola; Nays – None; Absent – None; Abstain – None.
Motion carried.
- President’s Comments:** Mayor Pruyn presented “Draft” Resolution #877-16, “A Resolution Concerning Health Insurance Benefits for Elected Officials.” Hearing no objections, Trustee Hower made a motion

to approve "Draft" Resolution #877-16; Trustee Leahy seconded the motion. Roll Call Vote: Ayes – Trustees Hower, Leahy, Aiani, Latoria, Madaras, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

Administration Committee:
Trustee Santorsola, Chairperson

Trustee Santorsola had no report.

Finance Committee:
Trustee Hower, Chairperson
(Resolution #875-16)

Trustee Hower presented discussion and possible action concerning Resolution #875-16, "A Resolution the Joint Prevailing Wage Resolution as Prepared by Itasca School District No. 10." Hearing no objections, Trustee Hower made a motion to approve the resolution; Trustee Madaras seconded the motion. Roll Call Vote: Ayes – Trustees Hower, Leahy, Aiani, Latoria, Madaras, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

(Resolution #876-16)

Trustee Hower presented discussion and possible action concerning Resolution #876-16, "A Resolution Appointing an Authorizing Agent with Respect to the Illinois Municipal Retirement Fund." Hearing no further objections, Trustee Hower made a motion to approve the ordinance; Trustee Leahy seconded the motion. Roll Call Vote: Ayes – Trustees Hower, Leahy, Aiani, Latoria, Madaras; Nays – Santorsola; Absent – None; Abstain – None. Motion carried.

(Clerks Reports for April and May 2016)

Trustee Hower reported the clerk's reports for April and May 2016.

Public Safety Committee:
Trustee Madaras, Chairperson

Trustee Madaras had no report.

Public Works/Infrastructure Committee:
Trustee Aiani, Chairperson
(Resolution #871-16)

Trustee Aiani presented discussion and possible action concerning Resolution #871-16, "A Resolution Authorizing Acceptance and Execution of an Agreement Supplement No. 1 for Wastewater Treatment Plant Pre-Design Engineering." Trustee Aiani noted Stanley Consultants have kept their rates consistent from the previous year. Hearing no objections, Trustee Aiani made a motion to approve the resolution; Trustee Madaras seconded the motion. Roll Call Vote: Ayes – Trustees Latoria, Madaras, Hower, Leahy, Aiani, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

(Resolution #872-16)

Trustee Aiani presented discussion and possible action concerning Resolution #872-16, "A Resolution Authorizing Acceptance and Execution of an Agreement Supplement No. 2 for Final Design Engineering Services." Hearing no objections, Trustee Aiani made a motion to approve the resolution. Trustee Hower seconded the motion. Roll Call Vote: Ayes – Trustees Latoria, Madaras, Hower, Leahy, Aiani, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

Consent Agenda: Trustee Leahy made a motion to approve items “a” on the consent agenda; Trustee Leahy seconded the motion. Roll Call Vote: Ayes – Trustees Latoria, Madaras, Hower, Leahy, Aiani, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

- a) Approval of Ordinance #1804-16, "An Ordinance Granting Variances for 300 S. Walnut (Bhagat)"

Voucher: Trustee Hower made a motion to approve the voucher dated June 21, 2016 in the amount of \$579,117.15; Trustee Leahy seconded. Roll Call Vote: Ayes – Trustees Latoria, Madaras, Hower, Leahy, Aiani, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

Department Heads: Mayor Pruyn stated he would hear Department Head reports at the Committee of the Whole Meeting following the Village Board Meeting.

Adjournment: Trustee Leahy made a motion to adjourn the Village Board meeting at 7:48 PM; Trustee Hower seconded the motion. Motion carried by a unanimous voice vote.

Minutes by: Melody J. Craven, Village Clerk

VILLAGE OF ITASCA BOARD OF TRUSTEES MEETING MINUTES

July 19, 2016 – 7:00PM

- Call to Order:** Mayor Jeff Pruyn called the Village Board Meeting to order at 7:05 PM.
- Roll Call:** Present: Trustees – Marty Hower, Jeff Aiani, Ellen Leahy, Lucy Santorsola, Michael Latoria; Village Clerk – Melody Craven.
- Also present: Village Administrator – Evan Teich; Village Attorney – Chuck Hervas; Chief of Police – Robert O’Connor; Community Development Director – Nancy Hill; Finance Director – Julie Ciesla; Itasca Fire Protection District Director of Fire Protection – Leigh Fabbri; Village Engineering Consultant – Scott Marquardt; Community Development Intern – Chris Strom.
- Absent: Trustee – Frank Madaras; Public Works Director – Ross Hitchcock; Village Engineering Consultant – Aaron Fundich.
- Pledge of Allegiance:** Mayor Pruyn led everyone in saying the Pledge of Allegiance.
- Audience Participation:** None.
- Late Arrival:** Trustee Frank Madaras arrived at 7:07PM.
- Minutes:**
(June 7, 2016) Mayor Pruyn asked if there were any questions or corrections regarding to the Village Board Meeting minutes of June 7, 2016 as presented. Hearing none, Trustee Leahy made a motion to approve the minutes; Trustee Santorsola seconded the motion. Motion carried by a unanimous voice vote.
- Minutes:**
(June 21, 2016) Mayor Pruyn asked if there were any questions or corrections regarding to the Village Board Meeting minutes of June 21, 2016 as presented. Due to several revisions needed, the minutes were tabled until next meeting.
- Minutes:**
(July 5, 2016) Mayor Pruyn asked if there were any questions or corrections regarding to the Village Board Meeting minutes of July 5, 2016 as presented. Hearing none, Trustee Santorsola made a motion to approve the minutes; Trustee Leahy seconded the motion. Motion carried by a unanimous voice vote.
- President’s Comments:**
(ItascaFest) Mayor Pruyn thanked Village staff and the Itasca Lions Club for a successful ItascaFest. He thanked Chief O’Connor and his staff and gave kudos to the Public Works Department.
- (BASSET Training) Mayor Pruyn presented discussion on the State of Illinois’ Beverage Alcohol Sellers and Servers Education and Training (BASSET) program. He explained that since the Village Board serves alcohol at Oktoberfest, they would need to attend a

BASSET training.

(Special Village Board meeting) The Mayor suggested calling for a Special Village Board meeting on Tuesday, August 9th, 2016 at 6:30PM for the purpose of conducting BASSET training. Trustee Leahy made the aforementioned motion; Trustee Hower seconded. Motion carried by a unanimous voice vote.

(Itasca Night Out reminder) Mayor Pruyn reminded everyone Itasca Night Out was scheduled for Tuesday, August 2nd and that the Village Board meeting starts at 7:30PM. In addition, "Hawaiian Shirt Night" at the Village Board will be on August 16th, 2016.

Community Development Committee:

Trustee Latoria, Chairperson

Trustee Latoria had no report.

Administration Committee:

Trustee Santorsola, Chairperson

Trustee Santorsola had no report.

Environmental Committee:

Trustee Leahy, Chairperson

Trustee Leahy had no report.

Finance Committee:

Trustee Hower, Chairperson
(Ordinance #1809-16)

Trustee Hower presented discussion and possible action concerning Ordinance #1809-16, "Annual Appropriation Ordinance for the Village of Itasca." Hearing no objections, Trustee Hower made a motion to approve Ordinance #1809-16 as presented; Trustee Madaras seconded the motion. **Roll Call Vote:** Ayes – Trustees Hower, Leahy, Aiani, Madaras, Latoria, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

(Resolution #883-16)

Trustee Hower presented discussion and possible action concerning Resolution #883-16, "A Resolution Authorizing Acceptance of a Proposal of Insurance for Underground Storage Tank Liability from Arthur J. Gallagher & Co." Finance Director Julie Ciesla stated the Village operates twelve (12) storage tanks throughout the Village. Ms. Ciesla listed the schedule of covered storage tanks in a memorandum provided to the Board: Holiday Inn Pumping Station (AST, ID#2, 500 gallon), West Pump House (AST, ID#3, 250 gallon), PAS 25-A (AST, ID#4, 250 gallon), Itasca Public Works (AST, unleaded, 2,500 gallon), Itasca Public Works (AST, diesel, 2,500 gallon), Itasca Public Works (AST, used oil, 500 gallon), Spring Lake (AST, ID#5, 100 gallon), Admin/PW Garage (AST, ID#9, 300 gallon), W.W.T.P (AST, ID#10, 1,700 gallon), R.P.S. (AST, ID#8, 450 gallon), Sony (AST, ID#7, 130 gallon), Park Place (AST, ID#6, 140 gallon). Hearing no objections, Trustee Hower made a motion to approve Resolution #883-16 as presented; Trustee Leahy seconded the motion. **Roll Call Vote:** Ayes – Trustees Hower, Leahy, Aiani, Madaras, Latoria, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

Public Safety Committee:
Trustee Madaras, Chairperson

Trustee Madaras had no report.

Public Works/Infrastructure Committee:
Trustee Aiani, Chairperson

Trustee Aiani had no report.

Consent Agenda:

Trustee Santorsola asked that Item "A" from the consent agenda (Approval of Resolution #881-16) be pulled from the consent agenda and voted on separately. There was consensus from the Board.

Trustee Leahy made a motion to approve items "b" through "e" on the consent agenda; Trustee Hower seconded the motion.

Roll Call Vote: Ayes – Trustees Hower, Leahy, Aiani, Madaras, Latoria, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

- b. Approval of Resolution #885-16, "A Resolution Authorizing Execution of an Engineering Agreement for Pavement Maintenance"
- c. Approval of Resolution #887-16, "A Resolution Authorizing Task Order 16-RO460 between the Village of Itasca and Robinson Engineering for Services related to Pierce Road Sidewalk Extension"
- d. Approval of Resolution #886-16, "A Resolution Authorizing Task Order 16-RO459 between the Village of Itasca and Robinson Engineering for Services related to Arlington Heights Road Improvements"
- e. Approval of Resolution #882-16, "A Resolution Accepting a Proposal from Midwest Meter for Water System Leak Detection Equipment"

Public Works/Infrastructure Committee:
Trustee Aiani, Chairperson
(Resolution #881-16; originally listed as item "a" on the Consent Agenda)

Trustee Aiani presented item "a" from the consent agenda, the Approval of Resolution #881-16, "A Resolution Authorizing Approval of an Agreement for Cost Participation for Tollway Contract I-13-4629, Illinois Route 390 from Park Boulevard to Arlington Heights Road." Trustee Santorsola stated she did not approve of this resolution. Hearing no objections, Trustee Leahy made a motion to approve the aforementioned approval of the resolution; Trustee Hower seconded the motion. **Roll Call Vote:** Ayes – Trustees Hower, Leahy, Aiani, Madaras, Latoria; Nays – Trustee Santorsola; Absent – None; Abstain – None. Motion carried.

Voucher:

Trustee Hower made a motion to approve the voucher dated July 5, 2016 in the amount of \$550,058.06; Trustee Santorsola seconded. **Roll Call Vote:** Ayes – Trustees Hower, Leahy, Aiani, Madaras, Latoria, and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.

Department Heads: Mayor Pruyn stated he would hear Department Head reports at the Committee of the Whole Meeting following the Village Board Meeting.

Adjournment: Trustee Madaras made a motion to adjourn the Village Board meeting at 7:31 PM; Trustee Leahy seconded the motion.
Motion carried by a unanimous voice vote.

Minutes by: Melody J. Craven, Village Clerk

ORDINANCE NO. 1810 -16

**AN ORDINANCE GRANTING RELIEF FROM THE ITASCA BUILDING CODE
FOR 400 E. ORCHARD STREET (ITASCA COUNTRY CLUB)**

WHEREAS, the Village of Itasca (hereinafter “Village”) has adopted the 2006 International Building Code with certain amendments (hereinafter “Itasca Building Code”); and

WHEREAS, the Itasca Building Code, Section 150.11(D)(503), amends the International Building Code to delete Type V construction from Table 503; and

WHEREAS, through Section 150.11(D)(503), the Itasca Building Code requires decks secured to existing masonry structures to be constructed out of non-combustible materials; and

WHEREAS, the Itasca Country Club is constructing a new deck around its pool and snack stand at 400 E. Orchard Street (“Subject Property”), which will be secured to the existing masonry structure(s); and

WHEREAS, the Itasca Country Club has requested relief from the Itasca Building Code, Section 150.11(D)(503)’s requirement that non-combustible materials be used for the deck’s surface, railing and guard materials; and

WHEREAS, the Itasca Fire Protection District has reviewed the Itasca Country Club’s request and recommends that combustible materials may be used for the deck surface, railings, and guard materials only.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Itasca, DuPage County, Illinois, as follows:

SECTION ONE: The corporate authorities hereby grant the Itasca Country Club relief from the Itasca Building Code, subject to the following conditions:

1. The combustible construction materials be for construction allowed by Building Permits #25110 and #25112 only;
2. The combustible construction be for the deck’s surface, railing, and guard materials only; and
3. Non-combustible or fire-retardant treated materials be used for the deck’s framing including columns, joists, rafters, and roof decking.

SECTION TWO: All other aspects of the Subject Property are to be in compliance with all Village ordinances, including but not limited to the Itasca Zoning Ordinance and the Building Code, unless otherwise modified by ordinance.

SECTION THREE: SEVERABILITY. The various provisions of this Ordinance are to be considered as severable, and if any part or portion of this Ordinance shall be held invalid by

any Court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions of this Ordinance.

SECTION FOUR: REPEAL OF PRIOR ORDINANCES. All prior Ordinances and Resolutions in conflict or inconsistent herewith are hereby expressly repealed only to the extent of such conflict or inconsistency.

SECTION FIVE: EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

APPROVED and ADOPTED by the Village President and Board of Trustees of the Village of Itasca this ____ day of August, 2016.

APPROVED:

Village President Jeffery J. Pruyn

ATTEST:

Village Clerk Melody J. Craven



550 W. Irving Park Road, Itasca, Illinois 60143-2018
630-773-0835 • Fax 630-773-2505 • www.itasca.com

Memorandum

TO: Village President Jeff Pruyn and Itasca Board of Trustees

FROM: Nancy Hill, Community Development Director

DATE: July 14, 2016 for July 19, 2016 Village Board COW Meeting

RE: Relief from Building Code for 400 E. Orchard Street (Itasca County Club)

The Itasca Country Club is requesting relief from the Building Code for the installation of a new deck around the pool and snack stand.

The Building Code Amendments requires that the proposed deck be constructed out of non-combustible materials because of where the deck is located and because it is secured to an existing masonry structure. The local Building Code amendments prohibits Type V combustible construction, which is usually treated wood for exterior decks. An acceptable construction material, under the Code amendments, would be fire retardant wood or any non-combustible material. However, fire retardant wood is not readily available for deck floor construction, and if it is available, it is not available at a reasonable cost.

Village staff and the Itasca Fire Protection District have reviewed this request for relief from the Building Code and recommend granting the relief from the Building Code for the deck surface, railings, and guard materials. We recommend the Itasca County Club use either non-combustible or fire-retardant treated materials for framing, including columns, joists, rafters, and roof decking. See also attached memo from Leigh Fabbri, Itasca Fire Protection District.

This item was presented to the Village Board at the June 22, 2016 Committee of the Whole meeting. At that meeting, a representative of the Itasca Country Club asked for the Village Board to consider relief from the Building Code for the entire deck. Since Village staff was not present, the item was tabled.

Staff met with ICC staff on June 24 to discuss the issues presented at the meeting. During that discussion, staff was able to clarify some building code questions related to ICC's request for relief for the proposed snack shack improvements, to the point that relief from the Building Code Amendments are not necessary for that building. Additionally, the group discussed the construction methods and materials for the proposed deck. Staff explained the reasoning for our position, and that we are open to looking at alternative methods and materials proposed by ICC that could achieve the goals of the Building Code Amendments. The discussion gave the Itasca Country Club a better understanding of staff's recommendation on the deck, and they asked that

this item be postponed until the July 19 Village Board Meeting due to the Independence Day Holiday.

Since the June 22 Village Board meeting, I have been asked by several Village Board members about the construction of similar commercial decks. Please keep in mind the deck in question is regulated by the International Building Code (IBC) and our local amendments to this code. Decks on single-family homes are regulated by the International Residential Building Code (IRC) and our local amendments. Type V construction is not permitted by our amendments to the IRC, and therefore, is not required for decks on single-family homes.

The most comparable structure is the recently constructed Antonio's restaurant pergola. The pergola was required to be fire retardant treated materials under our amendments to the IBC because it is attached to a commercial building of non-combustible construction. Antonio's constructed the pergola structure with non-combustible materials (fire-treated cedar). However, there is no deck flooring involved with Antonio's, as there is with the proposed Itasca Country Club deck. The deck flooring is the portion of the Itasca Country Club's proposed deck construction that staff is recommending be allowed to be of combustible materials.

Staff Recommendation

Staff recommends the following motion be made:

I move to approve the requested relief from the Building Code amendments to allow the proposed deck at 400 E. Orchard Street to be of combustible construction with the following conditions:

1. The combustible construction be for construction allowed by Building Permits #25110 and #25112 only.
2. The combustible construction be for the deck's surface, railing, and guard materials only.
3. Non-combustible or fire-retardant treated materials be used for the deck's framing including columns, joists, rafters, and roof decking.

Should you have any questions, please contact me in advance of the meeting. I can be reached at 630-228-5621 or nhill@itasca.com. Please note, Leigh Fabbri, Itasca Fire Protection District, will be at the July 19 meeting to answer questions.



ITASCA FIRE PROTECTION DISTRICT NO. 1
520 W. IRVING PARK ROAD, ITASCA, IL 60143

James F. Burke, Jr.

Fire Chief

Administration: 630-773-1223

Fire Prevention: 630-773-1240

Fax: 630-773-3381

June 13, 2016

To: Ms. Shannon Malik

From: Leigh Fabbri, Director
Bureau of Fire Prevention

Subject: Itasca Country Club,
Request for relief from Ordinance 1464-08, §150.11(C), 503

I have reviewed the request from Itasca Country Club from Ordinance 1464-08, which prohibits Type V construction, i.e. combustible.

The Itasca Fire Protection District recommends the Village of Itasca allow the applicant to use Type V for the deck surface, railing and guard materials. The applicant should use either non-combustible or fire-retardant treated materials for framing including columns, joists, rafters and roof decking.

Please feel free to contact me with any questions

Sincerely,

A handwritten signature in cursive script that reads "Leigh Fabbri".

Serving the Community Since 1909



Nancy Hill
Community Development Director
Village of Itasca
550 W. Irving Park Road
Itasca, IL 60143
Office: 630-773-5568
nhill@itasca.com

Nancy,

We kindly request to use treated wood instead of fire retardant wood on our pool deck and snack stand as indicated on the attached drawings and as submitted to the Community Development Department for Permit 25110 & Permit 25112 for the Itasca Country Club.

Because the structures will be built adjacent to a cement patio and our swimming pool, we do not believe that the use of treated wood will cause a risk to public health. Given the increased cost of and the increased time to acquire fire retardant wood vs. treated wood, we ask for relief from the Village's adopted building codes to allow for use treated wood instead of fire retardant wood on our pool deck and snack stand.

In order to obtain approval for this request, we would like to be on the agenda for the Committee of the Whole Meeting on Tuesday, June 21 at 7 PM to meet with you and the village board. Please let me know if you have any questions or need any additional information. Thank you.

Sincerely,

Leeann Repta
General Manager
Itasca County Club
400 East Orchard
Itasca, IL 60143
lrepta@itascagolf.com
Direct: (630) 361-8059
Fax: (847) 952-4828

BUILDING CODES	
ITASCA, ILLINOIS	
2008	INTERNATIONAL BUILDING CODE W/ AMENDMENTS BY THE 2008 ITASCA BUILDING CODE
2008	NATIONAL ELECTRICAL CODE
2006	INTERNATIONAL FIRE CODE
2006	INTERNATIONAL PLUMBING CODE - OR ILLINOIS PLUMBING CODE
1997	ILLINOIS ACCESSIBILITY CODE
2006	INTERNATIONAL MECHANICAL CODE
2006	INTERNATIONAL WILDLAND-URBAN INTERFACE CODE

DISCIPLINES	
ARCHITECT	CORNICE & ROSE INTERNATIONAL, LLC

DRAWING INDEX	
ARCHITECTURAL	
A1.0	COVER SHEET / DEMO PLAN
A1.1	POOL DECK PLANS
A1.2	POOL DECK SECTIONS & DETAILS
A1.3	SNACK SHACK PLANS, SECTIONS & ELEVATIONS

- GENERAL NOTES**
- THE CONTRACTOR SHALL CONSULT WITH THE BUILDING OWNER AND ADHERE TO ALL REGULATIONS OF THE BUILDING AS TO AND METHOD OF MATERIAL DELIVERY, DEBRIS REMOVAL, HOURS OF DEMOLITION AND NOISY CONSTRUCTION.
 - CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
 - DO NOT SCALE DRAWINGS. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
 - ALL WORK SHALL BE DONE TO COMPLY WITH ALL APPLICABLE GOVERNMENTAL BUILDING CODES AND REQUIREMENTS OF THE LATEST EDITION OF THE ILLINOIS ACCESSIBILITY STANDARDS.
 - ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBSTRUCTED AND READILY OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
 - FLAME SPREAD RATINGS: ALL MATERIALS USED FOR INTERIOR WALL, CEILING AND FLOOR FINISHES INCLUDING INTERIOR TRIM, SHALL HAVE THE FOLLOWING RATINGS:
 - A. STAIRWAYS, LOBBIES AND PUBLIC CORRIDORS - CLASS 1 FLAME SPREAD (0-25) SMOKE DEVELOPED 200.
 - B. INTERIOR OFFICES & SPACES - CLASS 2 (26-75)
 - C. ALL FLOOR COVERINGS - CLASS B INTERIOR FLOOR FINISH (CRITICAL RADIANT FLUX BETWEEN 22 WATTS/SQ. CENTIMETER & 41 WATTS/SQ. CENTIMETER).
- (NOTE: ALL CLASS 2 MATERIALS ARE LIMITED TO 7500 SF OR LESS)
- IT IS AGREED THAT THE PROFESSIONAL SERVICES OF THE ARCHITECT DO NOT EXTEND TO, OR INCLUDE THE REVIEW OF SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE. IT IS FURTHER AGREED THAT THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. THE ARCHITECT AGREES TO BE RESPONSIBLE FOR HIS/HER OWN AND HIS/HER EMPLOYEES NEGLIGENT ACTS, ERRORS OR OMISSIONS.

- CONCRETE NOTES**
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACT 318 AND ACT 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
 - EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTH OF F_c = 4000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED WITH 6% AIR CONTENT.
 - REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
 - UNLESS NOTED OTHERWISE, ALL SLABS ON-GRADE SHALL BE REINFORCED WITH ONE (1) LAYER OF 6x6 W2.1A W.W.F.
 - ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISH GRADES.
 - PLACE ALL SLABS ON-GRADE WITH AN APPROVED PATTERN AND SEQUENCE OF CONSTRUCTION AND CONTROL JOINTS (MAXIMUM OF 15'-0" O.C.) TO MINIMIZE SHRINKAGE CRACKS.
 - CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ARCHITECT / ENGINEER FOR REVIEW.
 - ALL FOOTINGS TO BEAR ON SOIL CAPABLE OF RESISTING 3,000 PSF NET ALLOWABLE LOAD.

DESIGN LOADS

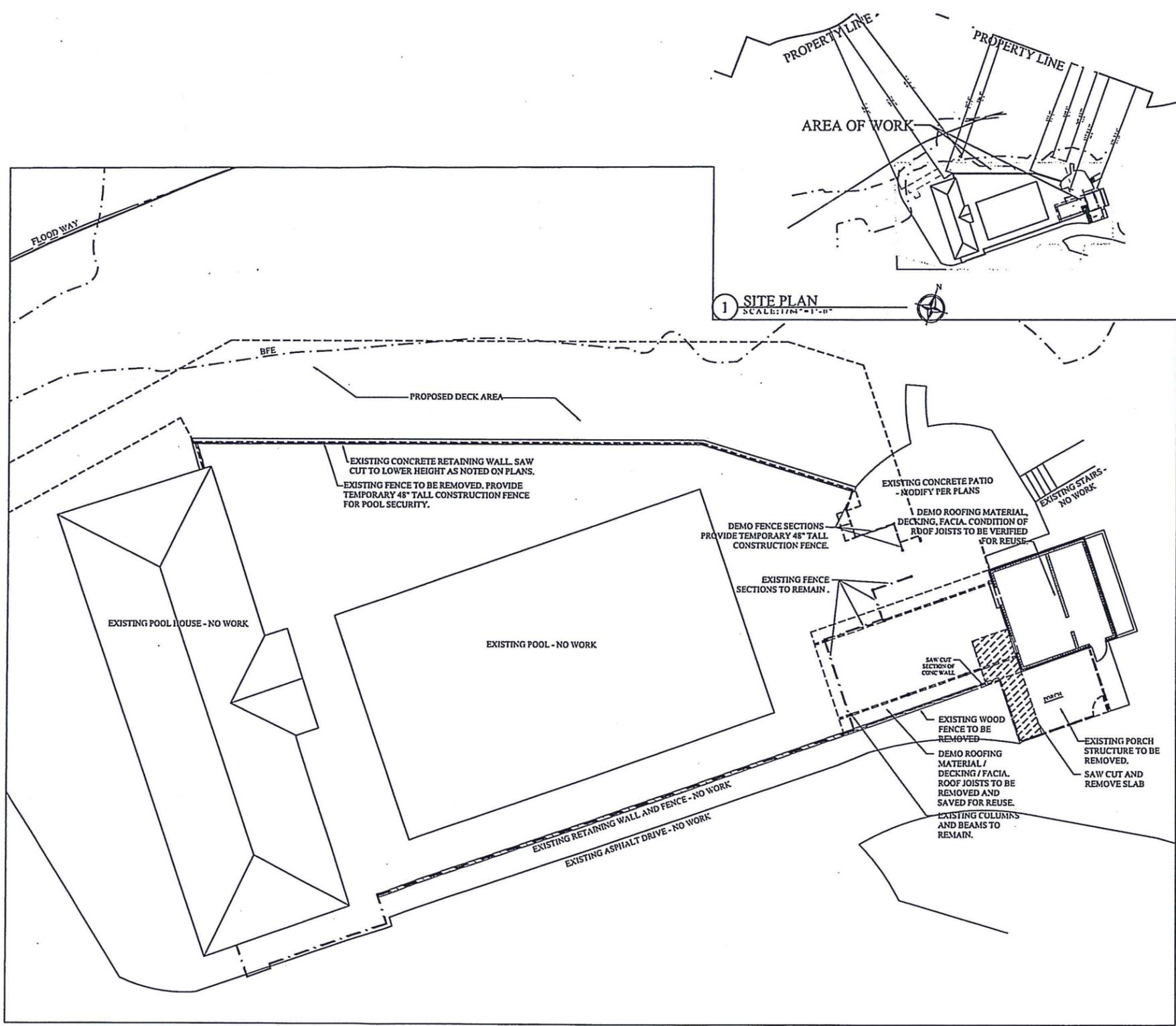
1. DESIGN LOADS	
DECKS:	
LIVE:	100 PSF
FRAMING:	10 PSF
ROOF:	
SNOW LOAD:	25 PSF
FRAMING:	10 PSF
ROOFING:	5 PSF
2. LUMBER SPECIFICATIONS:	
FLOOR / ROOF JOISTS: HEM FIR #2 OR 6x6 TO 8x8 POST	F _b = 850 PSI E = 1,300,000 PSI
STUDS: HEM FIR STUD	F _b = 675 PSI E = 1,200,000 PSI
LVL (MICRO LAM):	F _b = 2,600 PSI E = 1,900,000 PSI
PARALLAM (WOLMANIZED):	F _b = 2,050 PSI E = 1,740,000 PSI
PARALLAM (PSL COLS):	F _b = 2,400 PSI F _c = 2,500 PSI E = 1,800,000 PSI

- GENERAL CONSTRUCTION**
- ALL WALL SURFACES TO BE FREE OF DEFECTS AND TAPED, FILLED, SANDED SMOOTH AND PRIMED TO RECEIVE BUILDING STANDARD PAINT FINISH.
 - ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING CONSTRUCTION.
 - ALL PARTITION CONSTRUCTION SHALL BE SPECIFIED ON THESE DRAWINGS AND SHALL BE OF THE BEST ACCEPTED PRACTICE OF THE CONSTRUCTION INDUSTRY. GYPSUM BOARD PARTITION COMPONENTS SHALL BE AS MANUFACTURED BY UNITED STATES GYPSUM OR APPROVED EQUAL. ALL GYPSUM BOARD JOINTS, CORNERS AND EXPOSED EDGES SHALL BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. EXPOSED CORNERS SHALL HAVE CORNER BEAD, EXPOSED EDGES SHALL HAVE METAL TRIM.

- PROVIDE 1/2" DIAMETER SILL ANCHOR BOLTS AT 5'-0" O.C. AND LOCATED NO FURTHER THAN 12" FROM BUILDING CORNERS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE.
- CUTTING AND NOTCHING OF STUDS SHALL COMPLY WITH THE REQUIREMENTS OF THE IRC R602.4.
- CUTTING AND NOTCHING OF FLOOR AND CEILING JOISTS SHALL MEET WITH THE REQUIREMENTS OF IRC R502.8.
- ALL HEADERS SHALL BE (2) 2X12'S (HEM FIR #2) U.N.O. SEE LINTEL SCHEDULE FOR MASONRY, MINIMUM (3) 2X4 COLUMN AT EACH END OF ALL WOOD BEAMS & HEADERS (MAX. SPAN 4'-7").
- HOLES BORED IN FLOOR JOISTS SHALL COMPLY WITH IRC R502.8.
- ALL PLYWOOD SHEATHING IS TO BE APA APPROVED.
- EITHER LAP JOISTS OVER BEAMS PER IRC REQUIREMENTS, OR PROVIDE JOIST HANGERS.
- ALL TIMBER CONNECTIONS (STUDS, JOISTS, RAFTERS AND PLYWOOD) SHALL MEET THE NAILING REQUIREMENTS OF IRC TABLES R602.3 AND R602.5.(19).
- ALL DECK CONNECTORS AND THOSE CONNECTING THE PRESSURE TREATED LUMBER SHALL BE GALVANIZED PER ASTM A653 (I.E. SIMPSON ZALAK FINISH). ALL NAILS USED IN PRESSURE TREATED LUMBER AND DECK CONNECTORS SHALL BE GALVANIZED PER ASTM A153.
- PROVIDE BRIDGING AND BLOCKING PER THE REQUIREMENTS OF NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) DESIGN SPECIFICATIONS.
- WHERE TIMBER FRAMING IS SUPPORTED BY STEEL, A TIMBER PLATE SHALL BE FASTENED TO THE TOP FLANGE OF THE STEEL BEAM. HILTI POWDEK ACTUATED FASTENERS (OR EQUIVALENT) SHALL BE USED @ 24" O.C. (MAX).
- ALL 2x STUD WALLS OVER 8'-0" HIGH TO HAVE 1"x4" LET IN CORNER BRACING.
- ALL STUD WALLS TO HAVE SINGLE 2x BOTTOM PLATE & DOUBLE 2x TOP PLATE U.N.O.
- ALL WOOD IN CONTACT WITH CONCRETE & EXPOSED TO ENVIRONMENT TO BE PRESSURE TREATED LUMBER.

ITASCA COUNTRY CLUB

- POOL DECK & SNACK SHACK MODIFICATIONS -



ITASCA COUNTRY CLUB
 400 EAST ORCHARD ST.
 ITASCA, ILLINOIS

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EXPRESS 30.NOV.16
 JAMES A. GRAY
 SIGNATURE

REVISIONS:
 01 - PLAN REVIEW 1/8/2016
 02 - STRUCTURAL REV. 5/5/2016

DATE:
 21 MAR 2016

JOB NUMBER:
 2016-123

SHEET TITLE:
 COVER SHEET,
 DEMO PLANS

SHEET NUMBER:

A1.0

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EXPIRES 30 NOV 16

James A. Gray
SIGNATURE

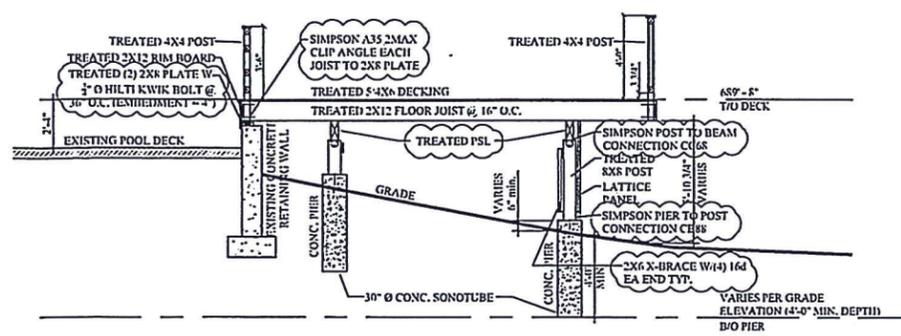
REVISIONS:
01 - PLAN REVIEW 2/8/2016
02 - STRUCTURAL REV. 5/2/2016

DATE:
21 MARCH 2016

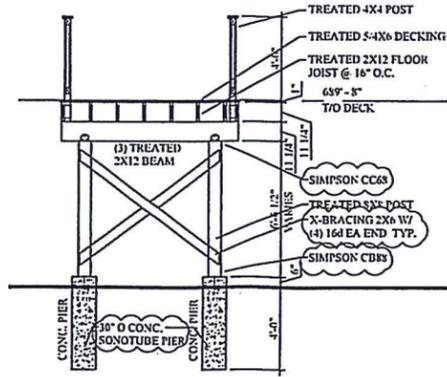
JOB NUMBER:
2016-112

SHEET TITLE:
POOL DECK -
SECTIONS &
DETAILS

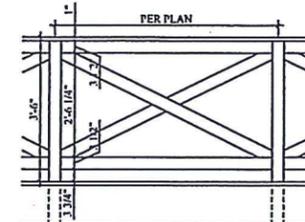
SHEET NUMBER:



1 DECK SECTION
SCALE: 1/4" = 1'-0"

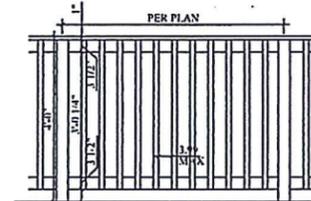


2 DECK SECTION
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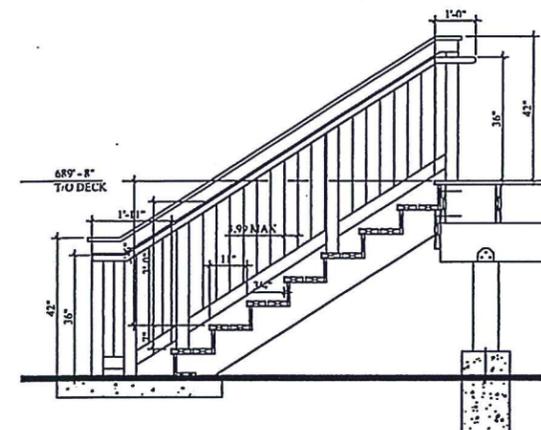


RAILING 'A' - NON GUARD RAIL REQ'D @ LOCATIONS LESS THAN 30" ABOVE ADJACENT LEVEL

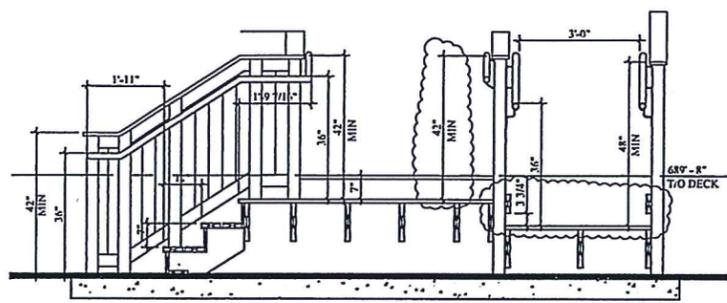
3 GROUND LEVEL PLAN
SCALE: 1/2" = 1'-0"



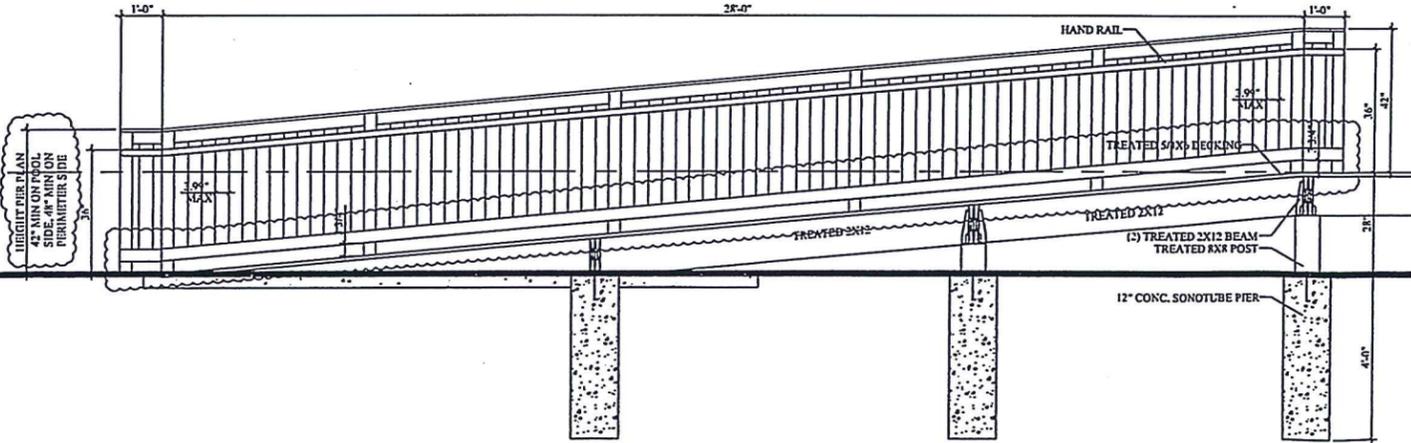
RAILING 'B' - GUARD RAIL REQUIRED.



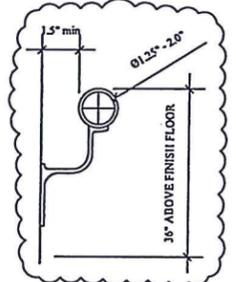
4 STAIR SECTION
SCALE: 1/2" = 1'-0"



5 STAIR / RAMP SECTION
SCALE: 1/2" = 1'-0"



6 RAMP SECTION
SCALE: 1/2" = 1'-0"



7 HAND RAIL DTL.
SCALE: 3/4" = 1'-0"

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EXPIRES 30.NOV.16
James A. Gray
SIGNATURE

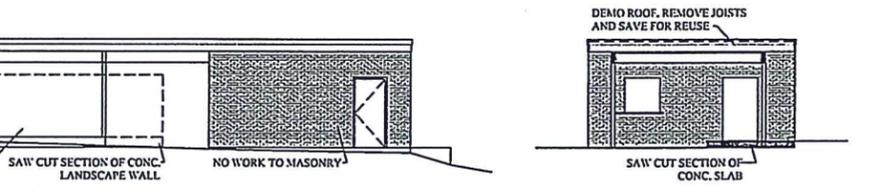
REVISIONS:
01 - PLAN REVIEW: 4/6/2016
02 - STRUCTURAL REV. 5/5/2016

DATE:
21 MARCH 2016

SHEET NUMBER:
2016-10

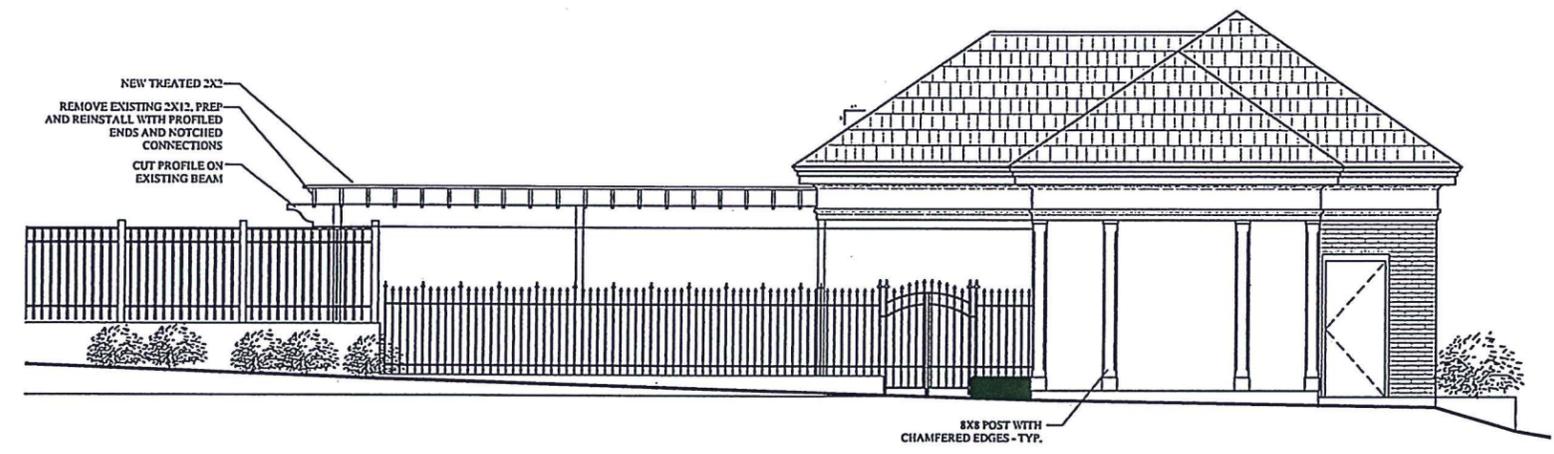
SHEET TITLE:
SNACK SHACK
PLANS,
SECTIONS &
ELEVATIONS

SHEET NUMBER:



4 EXIST. SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

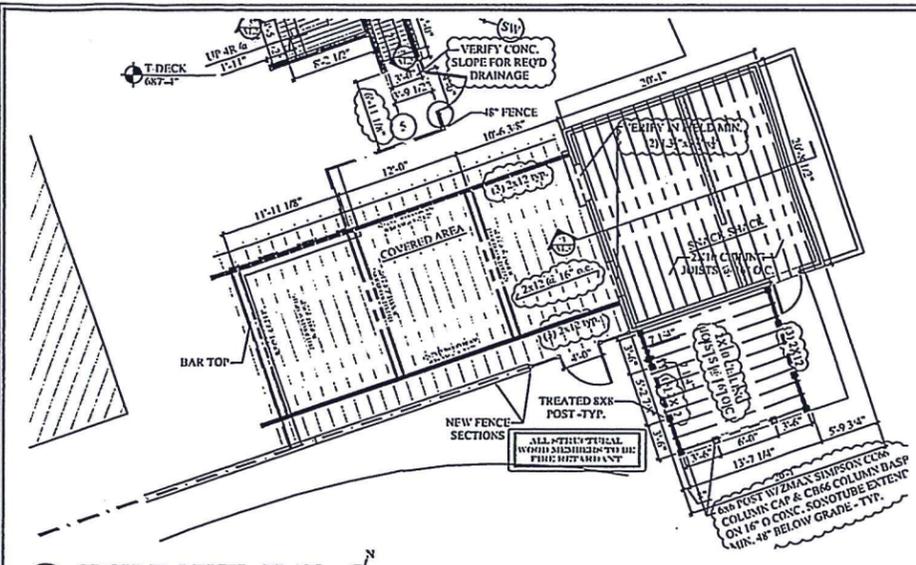
5 EXIST. WEST ELEVATION
SCALE: 1/8" = 1'-0"



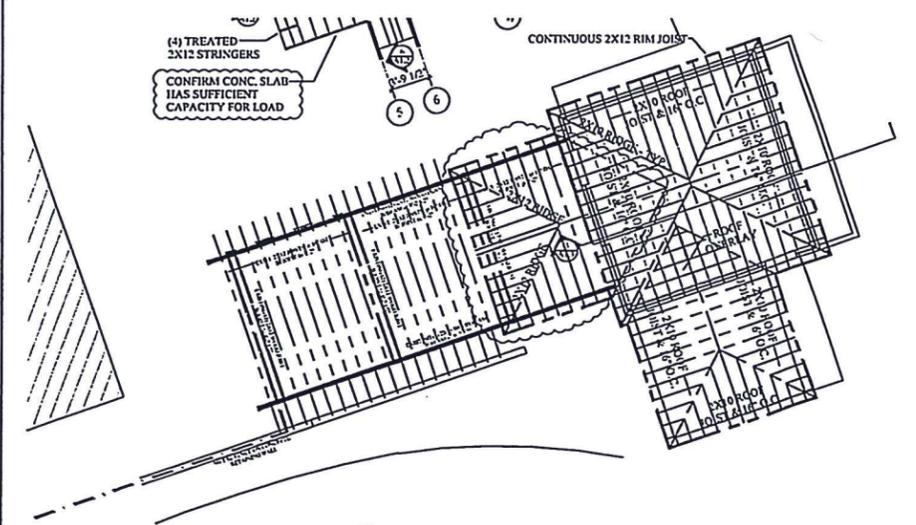
6 NEW SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



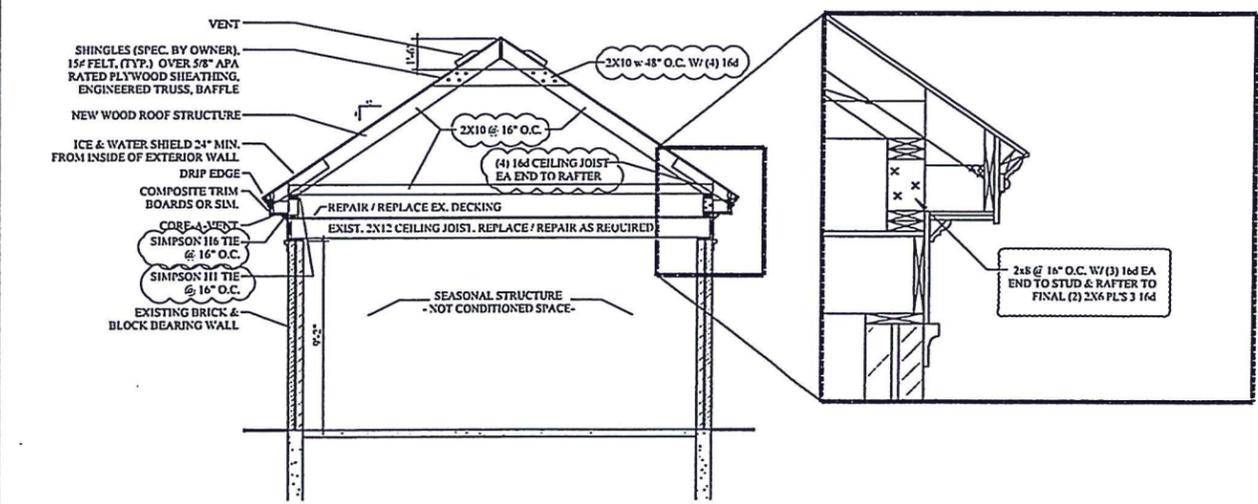
7 NEW WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 GROUND LEVEL PLAN
SCALE: 1/8" = 1'-0"



2 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"

ITASCA COUNTRY CLUB

- PADDLE COURT MODIFICATIONS -

MEMBER OF
Cornice & Rose
INTERNATIONAL

ITASCA COUNTRY CLUB
400 EAST ORCHARD ST.
ITASCA, ILLINOIS

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Jules A. Gray
SIGNATURE
REVISIONS:
01 - PLAN REVIEW 4/20/16
02 - STRUCTURAL REVIEW 5/20/16

DATE: 21 MARCH 2016

JOB NUMBER: 2016-123

SHEET TITLE: COVER SHEET, DEMO PLANS

SHEET NUMBER:

A1.0

BUILDING CODES	
ITASCA, ILLINOIS	
2008	INTERNATIONAL BUILDING CODE W/ AMENDMENTS BY THE 2008 ITASCA BUILDING CODE
2008	NATIONAL ELECTRICAL CODE
2006	INTERNATIONAL FIRE CODE
2006	INTERNATIONAL PLUMBING CODE - OR
2004	ILLINOIS PLUMBING CODE
1997	ILLINOIS ACCESSIBILITY CODE
2006	INTERNATIONAL MECHANICAL CODE
2006	INTERNATIONAL WILDLAND-URBAN INTERFACE CODE

DISCIPLINES	
ARCHITECT	CORNICE & ROSE INTERNATIONAL, LLC

- GENERAL NOTES**
- THE CONTRACTOR SHALL CONSULT WITH THE BUILDING OWNER AND ADHERE TO ALL REGULATIONS OF THE BUILDING AS TO AND METHOD OF MATERIAL DELIVERY, DEBRIS REMOVAL, HOURS OF DEMOLITION AND NOISY CONSTRUCTION.
 - CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS AND OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
 - DO NOT SCALE DRAWINGS. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
 - ALL WORK SHALL BE DONE TO COMPLY WITH ALL APPLICABLE GOVERNMENTAL BUILDING CODES AND REQUIREMENTS OF THE LATEST EDITION OF THE ILLINOIS ACCESSIBILITY STANDARDS.
 - ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBSTRUCTED AND READILY OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
 - FLAME SPREAD RATINGS: ALL MATERIALS USED FOR INTERIOR WALL, CEILING AND FLOOR FINISHES INCLUDING INTERIOR TRIM, SHALL HAVE THE FOLLOWING RATINGS:
 - STAIRWAYS, LOBBIES AND PUBLIC CORRIDORS - CLASS 1 FLAME SPREAD (0-25) SMOKE DEVELOPED 200.
 - INTERIOR OFFICES & SPACES - CLASS 2 (26-75)
 - ALL FLOOR COVERINGS - CLASS D INTERIOR FLOOR FINISH (CRITICAL RADIANT FLUX BETWEEN .22 WATTS/SQ. CENTIMETER & .41 WATTS/SQ. CENTIMETER).

(NOTE: ALL CLASS 2 MATERIALS ARE LIMITED TO 7500 SF OR LESS.)
 - IT IS AGREED THAT THE PROFESSIONAL SERVICES OF THE ARCHITECT DO NOT EXTEND TO, OR INCLUDE THE REVIEW OF SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE. IT IS FURTHER AGREED THAT THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INCURRED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. THE ARCHITECT AGREES TO BE RESPONSIBLE FOR HIS/HER OWN AND HIS/HER EMPLOYEES NEGLIGENT ACTS, ERRORS OR OMISSIONS.

DRAWING INDEX

ARCHITECTURAL	
A1.0	COVER SHEET / DEMO PLAN
A1.1	STRUCTURAL PLAN
A1.2	FLOOR PLAN

- CONCRETE NOTES**
- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
 - EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTH OF F_c = 10000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED WITH 6% AIR CONTENT.
 - REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
 - UNLESS NOTED OTHERWISE, ALL SLABS-ON-GRADE SHALL BE REINFORCED WITH ONE (1) LAYER OF 6x6 W2.1xW2.1 W.W.F.
 - ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISH GRADES.
 - PLACE ALL SLABS ON GRADE WITH AN APPROVED PATTERN AND SEQUENCE OF CONSTRUCTION AND CONTROL JOINTS (MAXIMUM OF 15'-0" O.C.) TO MINIMIZE SHRINKAGE CRACKS.
 - CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ARCHITECT / ENGINEER FOR REVIEW
 - ALL FOOTINGS TO BEAR ON SOIL CAPABLE OF RESISTING 3,000 PSF NET ALLOWABLE LOAD.

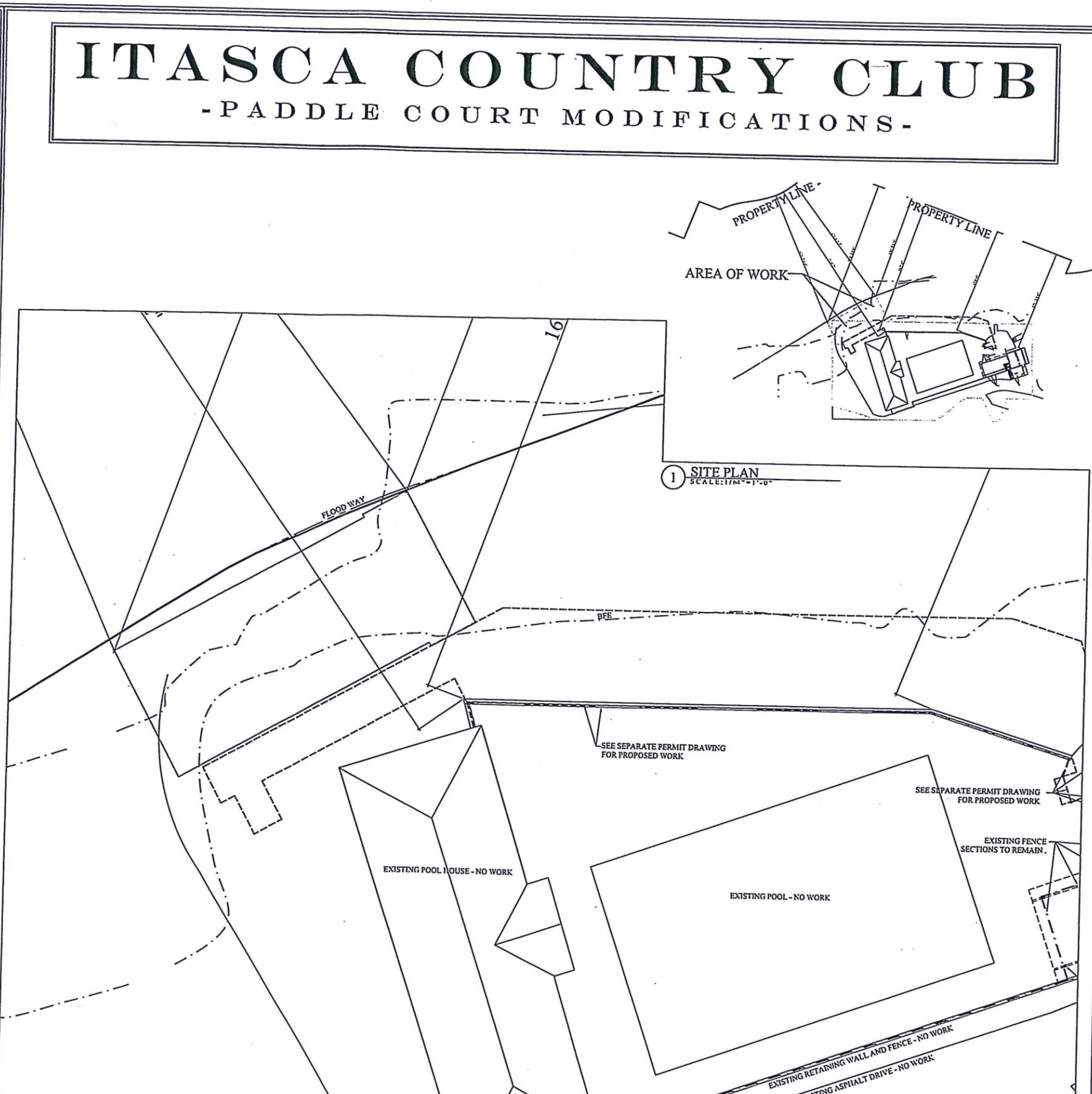
DESIGN LOADS

- DESIGN LOADS:
 - DECKS:
 - LIVE: 100 PSF
 - FRAMING: 10 PSF
 - ROOF:
 - SNOW LOAD: 25 PSF
 - FRAMING: 10 PSF
 - ROOFING: 5 PSF
- LUMBER SPECIFICATIONS:

FLOOR / ROOF JOISTS: 11EM FIR #2	F _b = 850 PSI
OR 6x6 TO 8x8 POST	E = 1,300,000 PSI
STUDS: 11EM FIR STUD	F _b = 675 PSI
	E = 1,200,000 PSI
LVL (MICRO LAM):	F _b = 2,600 PSI
	E = 1,900,000 PSI
PARALLAM (WOLMANIZED):	F _b = 2,090 PSI
	E = 1,740,000 PSI
PARALLAM (PSL COLS):	F _b = 2,400 PSI
	E = 1,800,000 PSI

- GENERAL CONSTRUCTION**
- ALL WALL SURFACES TO BE FREE OF DEFECTS AND TAPED, FILLED, SANDED SMOOTH AND PRIMED TO RECEIVE BUILDING STANDARD PAINT FINISH.
 - ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING CONSTRUCTION.
 - ALL PARTITION CONSTRUCTION SHALL BE SPECIFIED ON THESE DRAWINGS AND SHALL BE OF THE BEST ACCEPTED PRACTICE OF THE CONSTRUCTION INDUSTRY. GYPSUM BOARD PARTITION COMPONENTS SHALL BE AS MANUFACTURED BY UNITED STATES GYPSUM OR APPROVED EQUAL. ALL GYPSUM BOARD JOINTS, CORNERS AND EXPOSED EDGES SHALL BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. EXPOSED CORNERS SHALL HAVE CORNER BEAD. EXPOSED EDGES SHALL HAVE METAL TRIM.

- PROVIDE 1/2" DIAMETER SILL ANCHOR BOLTS AT 5'-0" O.C. AND LOCATED NO FURTHER THAN 12" FROM BUILDING CORNERS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE.
- CUTTING AND NOTCHING OF STUDS SHALL COMPLY WITH THE REQUIREMENTS OF THE IRC R602.6
- CUTTING AND NOTCHING OF FLOOR AND CEILING JOISTS SHALL MEET WITH THE REQUIREMENTS OF IRC R502.8
- ALL HEADERS SHALL BE (2) 2x12s (11EM FIR #2) U.N.O. SEE LINTEL SCHEDULE FOR MASONRY. MINIMUM (3) - 2x4 COLUMN AT EACH END OF ALL WOOD BEAMS & HEADERS (MAX. SPAN 4'-0")
- HOLDS BORED IN FLOOR JOISTS SHALL COMPLY WITH IRC R502.8
- ALL PLYWOOD SHEATHING IS TO BE APA APPROVED.
- EITHER LAP JOISTS OVER BEAMS PER IRC REQUIREMENTS, OR PROVIDE JOIST HANGERS.
- ALL TIMBER CONNECTIONS (STUDS, JOISTS, RAFTERS AND PLYWOOD) SHALL MEET THE REQUIREMENTS OF IRC TABLES R602.3 AND R502.5.1(9).
- ALL DECK CONNECTORS AND THOSE CONNECTING THE PRESSURE TREATED LUMBER SHALL BE GALVANIZED PER ASTM A153.
- WHERE TIMBER FRAMING IS SUPPORTED BY STEEL, A TIMBER PLATE SHALL BE FASTENED TO THE TOP FLANGE OF THE STEEL BEAM. HILTI POWDER ACTUATED FASTENERS (OR EQUIVALENT) SHALL BE USED @ 24" O.C. (MAX)
- ALL 2x STUD WALLS OVER 8'-0" HIGH TO HAVE 1"x4" LET IN CORNER BRACING.
- ALL STUD WALLS TO HAVE SINGLE 2x BOTTOM PLATE & DOUBLE 2x TOP PLATE U.N.O.
- ALL WOOD IN CONTACT WITH CONCRETE & EXPOSED TO ENVIRONMENT TO BE PRESSURE TREATED LUMBER.



1 GROUND LEVEL PLAN
SCALE: 1/32" = 1'-0"





Village of Itasca Community Development Department

550 WEST IRVING PARK RD. ITASCA, IL 60143
PHONE: 630/773-5568 FAX: 630/773-0852
e-mail: smalik@itasca.com
www.itasca.com

MEMORANDUM

TO: President Jeff Pruyn
Village Board of Trustees

RE: PC 16-009
Itasca School District 10
730 N. Catalpa- Franzen School
Variance SYSB- Accessory Structure

FROM: Shannon L. Malik, AICP
Planner III

VB: August 2, 2016

CC: File

ENCL: Plan Commission staff report
w/attachments

Background

Itasca School District 10 is requesting a variance to accommodate a screened dumpster pad for the storage of garbage and recycling containers at Franzen School. There were staff concerns with the initially proposed location in the front yard setback, which were addressed during last week's public hearing.

At the meeting, the petitioner agreed to modify the plans at the time of permit submittal to move the pad west, outside of the front yard setback and into the side yard setback. This eliminates staff's concern about line of site issues outlined in the staff report, and also addresses safety concerns that the School District had with an alternate location discussed previously.

In addition, this change eliminates the need for the zero lot line setback in the front yard. A variance from the section of the Zoning Ordinance pertaining to setbacks of accessory structures is still required. The change does not result in any new non-conformities, as the section of Code treats accessory structures in the side and front yard setbacks the same way.

Staff is generally pleased with the proposed modification and will verify compliance at the time of permit submittal.

The request before the Village Board is as follows:

1. Side yard setback variance for an accessory structure encroachment in the R-1 Single Family Residence District. (Section 4.06(8)(a)).

Plan Commission Recommendation

The Plan Commission conducted a public hearing on this matter on July 20, 2016. No members of the public were present to speak for or against the proposal. The Plan Commission reviewed the required Findings of Fact and recommended *unanimous approval* (5-0) of the variance subject to the following conditions, as recommended by staff and amended at the public hearing by the Plan Commission:

1. Permit documents must be in substantial compliance with Plan Commission/Village Board submittal.
2. Any favorable recommendation is subject to final engineering approval.

-
3. The variance will become null and void if permits have not been applied for within one year.
 4. Adherence to Engineering review comments in memo from Amy S. McKenna, PE, Robinson Engineering dated June 29, 2016.
 5. Confirm waste haulers have reviewed and accepted the location of the proposed fenced pad prior to submitting for building permits.
 6. Any trees damaged or removed as a result of this work must be replaced.
 7. Maintain 10' site clear line of sight triangle from all points of the intersection of the apron edge and roadway.
 8. Maintain required front yard setback and accessory structure setback.



Village of Itasca
Community Development Department
Plan Commission
Agenda Item

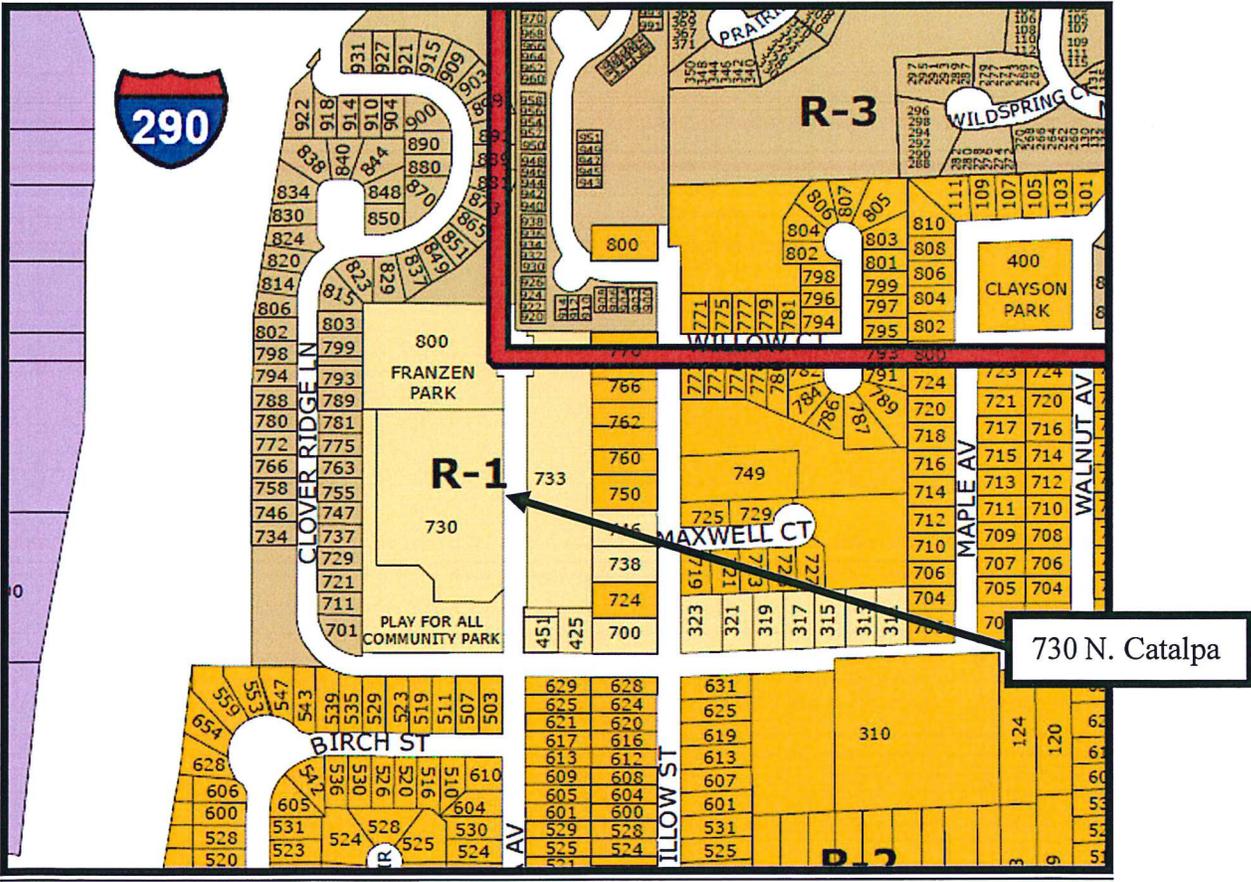
PUBLIC HEARING: July 20, 2016 **PC 16-009**

TITLE: Elmer H. Franzen Intermediate School- Itasca School District 10
ADDRESS: 730 N. Catalpa Avenue
PIN: 03-07-406-018

Brian Weintraub of Itasca School District 10, property owners, for the following:

- A. Variances to reduce the required minimum front yard setback and required minimum distance to the property line for the purpose of constructing an enclosed pad for trash and recycling containers in the R-1 Single Family Residence District.

LOCATION



Location Map (Source: VOI 2016 Zoning Map)

GENERAL INFORMATION

Current Use: Public Elementary School
Proposed Use: No change
Current Zoning: R-1 Single Family Residence District

BACKGROUND

The subject property is zoned R-1 Single Family Residence District. To the north and south is Franzen Park, to the west is the Clover Ridge Subdivision, zoned B-3 General Residence District, and to the east is St. Matthew Church. The properties to the north, south, and east are also zoned R-1.



730 N. Catalpa St.- View looking southwest w/temporarily relocated containers

For quite some time, the school had been using the public right-of-way to store garbage and recycling waste containers. The Village requested that these be removed from public property and relocated to the school's property. In order to permanently achieve this, the petitioner is proposing a new 10'x15' concrete pad to store the waste and recycling containers for pickup. The proposed pad will be located approximately 20'

north of the driveway along Catalpa and go right up to the east property line. A new apron and depressed curb cut are proposed and the refuse area will be fully enclosed with a 4' red cedar solid fence which will open on the east side of the accessory structure. The new apron will measure 17' at its widest point and then taper down to 15' at the property line.

When the 2014 building addition was completed, a new asphalt play area was added adjacent to the north side of the building. This play area is located at the termination of the Catalpa driveway which was constructed to support the weight of vehicles requiring access to the building in the event of an emergency.

Earlier this year, Village staff had encouraged the petitioner to add a concrete pad adjacent to the existing reinforced drive aisle, since the pavement should be able to adequately support a garbage or recycling truck.

The school contends that placing the pad away from the building and play surface would be the safer alternative for students and faculty, however, staff had raised questions about potential safety issues with the currently proposed location and inquired as to whether garbage and recycling service is typically completed by the time that children begin to arrive for class.

As currently proposed, the enclosed concrete pad requires variances for the required minimum front yard setback and required minimum distance to the property line for an accessory structure in this location and of this height.

ZONING ANALYSIS

The concrete pad and fence proposed to screen it are being treated together as accessory structures.

The proposed concrete pad and fence will have a setback of 0' to the east property line where 30' is required for the R-1 Single Family Residence District by Section 7.04(5)(a) of the Zoning Ordinance.

Additionally, per Section 4.06(8)(a), which governs accessory structures in all districts, accessory structures are not permitted in the front yard and they must have a minimum distance of 5' to the property line in those yards they are allowed in. Sections 4.20(4)(f) and 4.20(7)(c) reiterate prohibitions on fences in the required front yard setback.

FIRE DISTRICT COMMENTS

Fire Prevention Bureau Director Fabbri reviewed the submittal and provided comments dated July 11, 2016, which are attached. The District is not comfortable recommending

approval because it has concerns that the proposed location will obstruct the view of children as they approach the street and vehicles traveling on Catalpa may not see children approaching. It is the recommendation of the District, that the petitioner consider placing the trash enclosure in the side yard to eliminate this potential conflict and the need for variances.

ENGINEERING COMMENTS

Consulting Engineer, Amy McKenna also provided review comments dated June 29, 2016 which indicate that the proposed work should not result in the need for any new stormwater management facilities. She also raised concerns regarding sight distance, indicating that Section 6.03(B)(7) of the Village's Development Standards and Specifications prohibit improvements greater than 3' in height where a 10' line of sight triangle cannot be obtained.

STAFF RECOMMENDED CONDITIONS OF APPROVAL

Should the Plan Commission desire to approve of this request, staff recommends the following conditions of approval:

1. Permit documents must be in substantial compliance with Plan Commission/Village Board submittal.
2. Any favorable recommendation is subject to final engineering approval.
3. The variance will become null and void if permits have not been applied for within one year.
4. Adherence to Engineering review comments in memo from Amy S. McKenna, PE, Robinson Engineering dated June 29, 2016.
5. Confirm waste haulers have reviewed and accepted the location of the proposed fenced pad prior to submitting for building permits.
6. The site plan may need to be re-worked prior to permit submittal to avoid any conflict with existing street lights and parking signs.
7. Any trees damaged or removed as a result of this work must be replaced.
8. Revise to eliminate line of site conflict with existing driveway. Maintain 10' site clear line of sight triangle from all points of the intersection of the apron edge and roadway.

REQUIRED FINDINGS OF FACT

Section 14.09(3) sets for the following Standards for Variances. It states:

No Variance shall be granted by the President and Board of Trustees unless the specific findings are made based on the evidence presented to the Plan Commission:

1. *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located;*
2. *The plight of the owner is due to unique circumstances, and*
3. *The variation, if granted, will not alter the essential character of the locality.*

In making this determination, the Plan Commission shall consider whether there are particular difficulties or particular hardships, and take into consideration whether the following facts have been established by evidence:

1. *The particular physical surroundings, shape or topographical conditions of the specific property involved would bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out;*
2. *The conditions upon which the petition for variation is based would not be applicable generally to other property within the same zoning classification;*
3. *The purpose of the variation is not based exclusively upon a desire to make more money from the property, or merely for the convenience of the owner;*
4. *The alleged difficulty or hardship has not been created by any person presently having an interest in the property;*
5. *The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or*
6. *That the proposed variation will not impair an adequate supply of light on adjacent property or substantially increase the danger of fire or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.*

The petitioners have provided their response to the above Standards within the Petition for Variance.

DOCUMENTS ATTACHED

1. Application signed June 1, 2016.
2. Sketch Site Plan, unsigned, undated.
3. Fence panel exhibit, unsigned, undated.
4. Itasca Fire Prevention District review comments, prepared by Fire Prevention Bureau Director, Leigh Fabbri, dated July 11, 2016.
5. Engineering review comments, prepared by engineering consultant Amy McKenna, dated June 29, 2016.

PETITION FOR VARIANCE

Village of Itasca Plan Commission
c/o Community Development Department
550 W. Irving Park Rd.
Itasca, IL 60143
(Ph): 630-773-5568 (F): 630-773-0852
comdev@itasca.com

Date Submitted: 6/1/16

ALL ITEMS MUST BE COMPLETE TO PROCESS APPLICATION

Address(es) of Property: 730 North Catalpa Street

Owner(s) of Property: Itasca School District 10

Petitioner(s) (if other than owners): Brian Weintraub for Itasca School District 10

Existing Use: Elementary School, Outdoor Ashphat Play Area, Open Field for Recreational Use by Students and Community Zoning: R-1

P.I.N. #(s): 0306403089 Lot Size (sq. ft.): 174,833 Square Feet or 4.015 Acres

Please answer the following questions (you may attached additional sheets if needed):

1.) Specifically state the variance(s) which is sought including the relevant section(s) of the Zoning Ordinance and how and/or the amount(s) by which the ordinance is sought to be varied.

7.64(5)(a)
4.06(8)(a)
4.20(7)(c)
4.20(4)(f) } Zoning Ordinance

6.03(B)(7) Development Standards & Specifications

2.) Generally state the purpose and reasons for which the variance(s) is/are sought.

(See next page)

A variance is being requested to accommodate an enclosed trash pad located directly off the street and visible to residents in Itasca. The trash pad will hold one large dumpster for regular waste and two smaller dumpsters for recycling. The reason for the request is that placing a trash pad at the rear of the school building could compromise the safety of students and faculty since the current asphalt surface has been designated as a play area/general outdoor activity area for students. Additionally, that section of the current asphalt area which is designated and designed as an outdoor play area for students was not built to accommodate heavy vehicle traffic. Plus, the area of the the asphalt drive that can accommodate heavy vehicles, such as emergency vehicles and fire engines, flows directly into the section of asphalt that was designed as an outdoor play area for children, which would increase the chances of an accident involving staff or students with a heavy waste collection vehicle.

By locating the trash pad directly north of the school on the other side of the emergency vehicle access path and directly adjacent to the street the risk of injury resultant from the operation of a heavy vehicle will be significantly mitigated. Also, if a variance is not granted, the existing play area surface would have to be demolished and redesigned to accommodate frequent use by non-emergency vehicles. The existing driveway would have to be widened and the asphalt play area would have to be reinforced underneath to accommodate heavy vehicle traffic. Finally, since there is no access to the rear of the building, consideration would have to be given for a heavy vehicle operating in reverse to back out of said driveway in a location that is nearer the students and staff than the proposed alternative.

Additionally, if the District is required to place the trash pad in the rear of the school, the financial impact to the taxpayers of the community will be significant since the District will need to demolish the existing asphalt play area and build a surface that is capable of supporting with weight of heavy vehicles.

Finally, since the school is located directly across the street from a church and is surrounded by open space owned by the school district, park district and village, and away from any residential areas, the impact to residents will be minimal.

- 3.) Explain how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the Zoning Ordinance.

Since the property in question is owned by a local education agency, the return on investment is of no concern since the district does not seek to earn any profit from owning the school and its surrounding land, or does it intend to enter into a sale of property for financial gain. That being said, the benefits are as follows: 1) does not disrupt the flow of instruction to children by presenting a potential barrier from the school and outdoor facilities used for recreation and outdoor learning, 2) has minimal impact to the open space since the proposed location is directly off the street, 3) the space will not compete for access with emergency vehicles in case of an emergency situation, 4) reduces the potential for incidents as a result of a waste truck having to do a three-point turn (the waste truck can pick up the trash and then circle around the cul-de-sac at the far north end of Catalpa Street, and 5) by relocating the waste bins in the new location the flow of traffic for school buses to pick up and drop off students would be greatly improved since the waste receptacles current reside on the street in a parking spot in front of the school.

Of greater importance, is the safety and wellbeing of staff and students, while at the same time being good stewards of taxpayer monies.

- 4.) State and explain the particular factors of the property (e.g., physical surroundings, shape or topographical conditions, etc.) that bring a hardship to the owner under the strict letter of the Zoning Ordinance.

Given that the property directly behind the building is owned by the Park District, and given that the combined open space surrounding the school building is for the joint recreational/educational use of students and community members-at-large, having a thoroughfare cutting directly through this multi-use space will create potential safety issues for all members of the community.

- 5.) Explain how the plight of the owner is due to unique circumstances and not generally applicable to other properties in the neighborhood.

As stated above, given the boundary lines of the school district property, and that the full parcel of land is shared by the constituents of the community for multi-use recreational/outdoor learning activities, any vehicle trying to access the rear of the building could violate the intended use of the space by posing a safety risk and impeding the flow of pedestrians on public lands.

Additionally, since the property is a school, and not a residential dwelling, this request is unique to this specific instance and would enhance the current situation whereby, the waste receptacles have always resided on the street in front of the school.

- 6.) State the effects of the proposed variation(s) upon the character of the neighborhood, the property values, traffic conditions, public utilities, storm water detention, and other matters pertaining to the public health, safety, morals, and general welfare of the community. Explain how the variation will not alter the essential character of the locality. The character of the neighborhood will not be impacted since the proposed location of the enclosed trash pad will occupy seldom used open space and will have a fenced in enclosure to mitigate the visibility of the trash pad and blend it with surrounding structures. Property values, traffic conditions, storm water detention and other factors listed above will not be impacted since the majority of the land surrounding the school is not residential. In addition, the fact that Catalpa Street dead-ends just north of publicly owned land deters heavy vehicle traffic.

Owner's Name(s): Itasca School District 10

Address: 200 N. Maple Street Phone: 630-773-1232

Itasca, IL 60143 Email: _____

Petitioner's Name(s): Brian Weintraub

Address(es): 200 N. Maple Street Phone: 630-773-1232

Itasca, IL 60143 Email: bweintraub@itasca.k12.il.us

Agent or Attorney (if applicable) Site Planner or Engineer (if applicable)

Name: _____ Name: _____

Firm: _____ Firm: _____

Address: _____ Address: _____

Phone: _____ Phone: _____

Email: _____ Email: _____

Please attach the following:

- Legal description of property (from title policy or plat of survey) – required for all variances.
- Current plat of survey (showing all site improvements/structures and easements).
- Architectural renderings of new or altered structures (if applicable).
- Site Plan (drawn to scale showing buildings, parking spaces, storm water detention and all other significant data with all pertinent dimensions fully noted).
- If held in trust, letter naming all beneficiaries of the trust and authorizing the below signed person to act on the matters related to the petition request. The letter must be signed by all beneficiaries of the trust.

THE LEGAL TITLEHOLDER MUST SIGN THE PETITION. Where the property is held in trust, the trust officer must sign the petition and include a letter naming all beneficiaries of the trust and authorizing the below signed person to act on the matters related to this petition request. The undersigned acknowledges and agrees that this application and all documentation submitted becomes public record and may be viewed by the public.

I/WE Brian Weintraub for Itasca School
District 10

DO HEREBY CERTIFY OR AFFIRM THAT I/WE ARE THE OWNER(S)

OF RECORD OF THE AFORESAID DESCRIBED PROPERTY AND HEREBY MADE APPLICATION AS SUCH.

Signature: *Brian Weintraub*

Date: 6/1/2016

SUBSCRIBED AND SWORN TO

BEFORE ME THIS 1st DAY OF JUNE, 2016

Cynthia S. Kuta
NOTARY PUBLIC

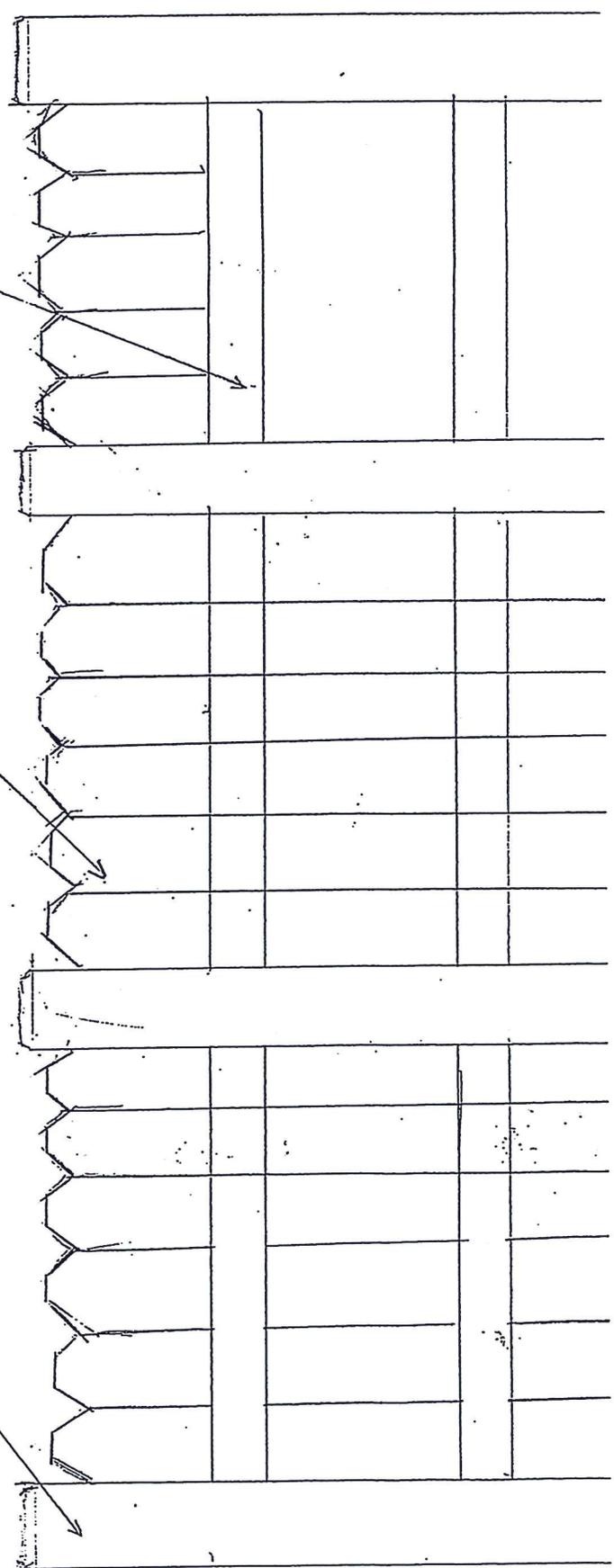


RED CEDAR

4x4 POST

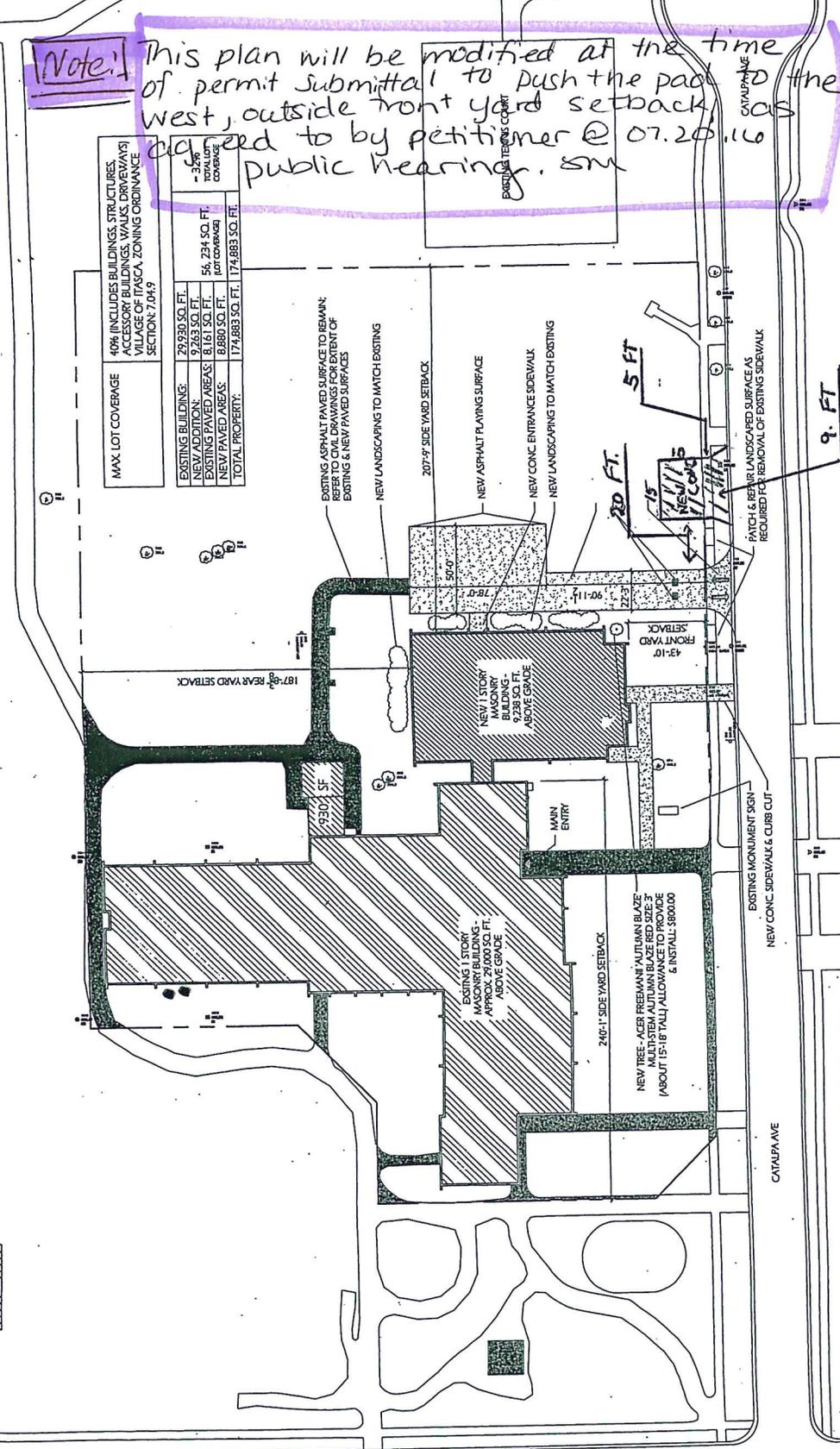
5/8" IN X 6 x 8 FT
DOG-EAR PICKET

2x4 wood PLANK



Note: This plan will be modified at the time of permit submittal to push the pad to the west, outside front yard setback, as agreed to by petitioner @ 07.20.16 public hearing. sm

MAX. LOT COVERAGE		40% (INCLUDES BUILDINGS, STRUCTURES, ACCESSORY BUILDINGS, WALKS, DRIVEWAYS) VILLAGE OF ITASCA, ZONING ORDINANCE SECTION 7.04.9	
EXISTING BUILDING:	29,930 SQ. FT.	-32%	
NEW ADDITION:	9,263 SQ. FT.		
EXISTING PAVED AREAS:	8,161 SQ. FT.		
NEW PAVED AREAS:	8,880 SQ. FT.		
TOTAL PROPERTY:	174,883 SQ. FT.		



REQUIRED OFF-STREET PARKING
 BASED ON TABLE 2002 OF 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN & THE VILLAGE OF ITASCA, ZONING ORDINANCE - SECTION 12.00 - OFF STREET PARKING & LOADING
 MINIMUM NUMBER OF REQUIRED PARKING SPACES BASED ON: (1) PARKING SPACE PER EACH FACILITY STAFF MEMBER OR OTHER FULL-TIME EMPLOYEE. (4) PARKING SPACES REQUIRED FOR VISITOR PARKING.

REQUIRED OFF-STREET PARKING		TOTAL	
REQUIRED	ACTUAL	REQUIRED	ACTUAL
FULL-TIME STAFF	20	46	52
FULL-TIME TEACHERS - EXISTING	12	47	56
FULL-TIME SUPPORT STAFF - EXISTING	1	48	57
FULL-TIME TEACHERS - NEW	1	49	58
	1	50	59
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TO: Shannon Malik, AICP, Planner III
FROM: Amy S. McKenna, PE, CFM, Consulting Engineer
DATE: June 29, 2016
RE: Franzen School Trash Collection Area – Variances
Engineering Review #1

We have reviewed the Plan Commission submittal packet with cover memo from Shannon Malik dated 6/21/16, and we offer the following comments:

1. The proposed plans include an increase in impervious area of approximately 150 square feet. Improvements at the school in 2014 added approximately 432 square feet. These cumulative improvements total 582 square feet of net new impervious area (since 4/23/13) and are thus less than the 2,500 square-foot threshold for BMP measures and 25,000 square-foot threshold for site runoff storage (detention) per the DuPage County Stormwater Ordinance. No stormwater management facilities will be required.
2. The proposed apron leading to the pad is in the location of an existing park sign and a street light. The location should be revised to avoid the street light.
3. The proposed trash collection area creates a sight distance problem for vehicles exiting the existing school driveway to the south. Section 6.03.B.7. of the Development Standards and Specifications states that no improvements greater than 3 feet high may be placed within a sight triangle with sides of 10 feet along a driveway edge and 10 feet along the right-of-way line.
4. Curb and gutter must be constructed in accordance with the Village standard detail; this must be included in permit documents.
5. The proposed concrete pad, sidewalk, and apron should be constructed in accordance with Village requirements for off-street loading berths (6" reinforced concrete on 10" aggregate base course or 8" unreinforced concrete on 10" aggregate base course).
6. Soil erosion and sediment control must be provided in accordance with the DuPage County Stormwater Ordinance. A concrete washout facility should be provided on site and a detail provided.

This review is only for general conformance with the design criteria established by the Village and is subject to both the completeness of the information submitted by the applicant's professional staff and also the actual ability of the plan to perform in accordance with its intent. Actual field conditions may vary and additional items may arise which are not readily apparent based on this submittal. The applicant's design professionals are responsible for performing and checking all design computations, dimensions, and details relating to design, construction, compliance with all applicable codes and regulations, and obtaining all permits. Additionally, other bodies of government may have jurisdiction over various aspects of this development. The applicant should be advised that additional measures may be required based on actual field conditions and formal approvals of the other agencies.

Should you have any questions or concerns, please do not hesitate to contact me via email at amckenna@reltd.com or at 815-412-2714.



ITASCA FIRE PROTECTION DISTRICT NO. 1
520 W. IRVING PARK ROAD, ITASCA, IL 60143

James F. Burke, Jr.
Fire Chief

Administration: 630-773-1223

Fire Prevention: 630-773-1240

Fax: 630-773-3381

July 11, 2016

To: Ms. Shannon Malik

From: Leigh Fabbri, Director
Bureau of Fire Prevention

Subject: Franzen School
Variance for Trash Enclosure

The following comments are based on my review of the submittals for the trash enclosure at Franzen School:

- Itasca Zoning Ordinance, Section 4.06.8, prohibits accessory building & structures in the front or side yard
- Itasca Zoning Ordinance, Section 420.4.f, prohibits fences higher than 3 feet that not an open decorative fence

I am not comfortable recommending approval of the request variance because this location will obstruct the view of children as they approach the street. Vehicles traveling on Catalpa also may not see children approaching the street.

I recommend the school district consider altering the variance request to place the trash enclosure in the side yard.

Sincerely,

Leigh Fabbri

Serving the Community Since 1909

ORDINANCE NO. 1811 -16

AN ORDINANCE GRANTING VARIANCES FOR 730 N. CATALPA (Franzen School)

WHEREAS, Itasca School District - Franzen School (hereinafter “Petitioner”) has filed a petition for variance from Section 4.06(8)(a) of the Itasca Zoning Ordinance for 730 N. Catalpa, Itasca, Illinois (hereinafter referred to as the “Subject Property”), which is located in the Village’s R-1 Single Family Residence District; and

WHEREAS, Petitioner seeks a variance in order to allow a side yard setback variance for an accessory structure encroachment; and

WHEREAS, Petitioner has submitted an application for the variance, attached hereto as Exhibit A,

WHEREAS, a public hearing was held by the Itasca Plan Commission on July 20, 2016, pursuant to public notice as required by law, with respect to Petitioner’s application; and

WHEREAS, the Itasca Plan Commission voted to recommend that the Village authorities approve the requested variance from Section 4.06(8)(a) of the Itasca Zoning Ordinance to allow a screened dumpster pad for the storage of garbage and recycling containers, as described in Exhibit A, subject to the following conditions:

1. Permit documents must be in substantial compliance with Plan Commission/Village Board submittal.
2. Any favorable recommendation is subject to final engineering approval.
3. The variance will become null and void if permits have not been applied for within one year.
4. Adherence to Engineering review comments in memo from Amy S. McKenna, PE, Robinson Engineering dated June 29, 2016.
5. Confirm waste haulers have reviewed and accepted the location of the proposed fenced pad prior to submitting for building permits.
6. Any trees damaged or removed as a result of this work must be replaced.
7. Maintain 10’ site clear line of sight triangle from all points of the intersection of the apron edge and roadway.
8. Maintain required front yard setback and accessory structure setback.

WHEREAS, the Plan Commission made the following findings of fact with respect to the recommended variance:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.
2. The plight of the owner is due to unique circumstances.
3. The variation, if granted, will not alter the essential character of the locality.

NOW, THEREFORE, BE IT ORDAINED by the Village President and Board of Trustees of the Village of Itasca, DuPage County, Illinois, as follows:

SECTION ONE: The corporate authorities hereby make the following findings of fact:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.
2. The plight of the owner is due to unique circumstances.
3. The variation, if granted, will not alter the essential character of the locality.

SECTION TWO: The corporate authorities hereby grant variances from Section 4.06(8)(a) of the Itasca Zoning Ordinance to allow a screened dumpster pad for the storage of garbage and recycling containers, as described in Exhibit A, subject to the following conditions:

1. Permit documents must be in substantial compliance with Plan Commission/Village Board submittal.
2. Any favorable recommendation is subject to final engineering approval.
3. The variance will become null and void if permits have not been applied for within one year.
4. Adherence to Engineering review comments in memo from Amy S. McKenna, PE, Robinson Engineering dated June 29, 2016.
5. Confirm waste haulers have reviewed and accepted the location of the proposed fenced pad prior to submitting for building permits.
6. Any trees damaged or removed as a result of this work must be replaced.
7. Maintain 10' site clear line of sight triangle from all points of the intersection of the apron edge and roadway.
8. Maintain required front yard setback and accessory structure setback.

SECTION THREE: All other aspects of the Subject Property are to be in compliance with all Village ordinances, including but not limited to the Itasca Zoning Ordinance, unless otherwise modified by ordinance.

SECTION FOUR: SEVERABILITY. The various provisions of this Ordinance are to be considered as severable, and if any part or portion of this Ordinance shall be held invalid by any Court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions of this Ordinance.

SECTION FIVE: REPEAL OF PRIOR ORDINANCES. All prior Ordinances and Resolutions in conflict or inconsistent herewith are hereby expressly repealed only to the extent of such conflict or inconsistency.

SECTION SIX: EFFECTIVE DATE. This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

APPROVED and ADOPTED by the Village President and Board of Trustees of the Village of Itasca this ____ day of August, 2016.

APPROVED:

Village President Jeffery J. Pruyn

ATTEST:

Village Clerk Melody J. Craven

CLERK'S REPORT - JUNE 2016

ACCOUNT #	ACCOUNT DESCRIPTION	TOTAL
01-00-12100	Accounts Receivable	\$27,432.33
01-00-21000	Library Payroll	\$8,700.01
01-00-21150	Due to the Fire District	\$2,120.00
01-01-30300	Corporate Taxes	\$899,126.15
01-01-31000	Income Tax	\$201,670.29
01-01-31200	Pers Prop Repl Tax	\$1,027.94
01-01-31300	Sales Tax	\$219,976.70
01-02-31300	Sales Tax - Non Home Rule	\$104,650.25
01-01-31500	Use Tax	\$17,467.69
01-01-31800	Liquor Licenses	\$25.00
01-01-31900	Business License	\$499.00
01-01-32000	Dog Tags	\$18.00
01-01-33500	Simplified Mun. Telecommunication Tax	\$89,285.41
01-01-33800	Utility Tax - Electricity	\$85,244.72
01-01-33800	Utility Tax - Gas	\$9,527.26
01-01-33900	Food & Beverage Tax	\$33,893.26
01-01-34600	Convenience Fee (For Paying With Credit Card)	\$334.03
01-01-34700	Purchase of I-Pad - Cristina White	\$100.00
01-02-30400	Road & Bridge Taxes	\$111,016.07
01-02-32700	Reserved Parking	\$10,100.00
01-02-32700	Direct Deposit Daily Parking	\$5,652.16
01-05-32200	Community Development Fines	\$130.00
01-05-32400	Building Permit Fees	\$38,760.55
01-05-32400	Conditional Certificate	\$1,300.00
01-05-32700	Reinspection Fee	\$75.00
01-05-32900	Contractor Registration	\$4,250.00
01-05-34600	Zoning Letter Fee	\$100.00
01-05-34600	Copies	\$15.00
01-05-64800	Consulting Service	\$3,480.00
01-06-32200	Police Fines	\$3,002.62
01-06-32200	A/R Concepts-Collection of Unpaid Parking Citations	\$227.29
01-06-32300	Police T-Account	\$32,740.18
01-06-32300	McHenry & Kane Cty Courts-Warrant Service Fee	\$140.00
01-06-32301	Technology Fines	\$3,618.47
01-06-32302	Court Supervision Fees	\$1,776.60
01-06-32400	Oxcart Permit System - Overweight Permits	\$1,900.00
01-06-33700	Obenauf Auction Serv. - Items 421.01-421.08, 421-.11, 52.09, 52.10	\$1,347.33
01-06-34600	Daniel Suber & Assoc. - Subpoena - Officer Serio	\$25.00
01-06-34600	Record Copy Services - FOIA	\$60.00
01-06-34600	Police Reports	\$22.00
01-06-34600	Appriss Inc. - Accident Report Fees Collected	\$285.00
01-06-34800	Admin/Towing and Impound Fees - PD	\$4,500.00
01-06-53300	Retirement Badge & Clip Holder - G Scerbicke	\$75.00
01-06-54300	Verizon Wireless	\$258.86
01-06-55600	K Kennedy - Camera Cable Originally Paid by CC	\$4.36
	GENERAL FUND TOTAL	\$1,925,959.53
10-00-12150	Utility Bills	\$516,939.81
10-00-12150	Automatic Payment for Utility Bills	\$92,849.68
10-01-34600	Convenience Fee (For Paying UB Bill w/Credit Card)	\$104.76

CLERK'S REPORT - JUNE 2016

ACCOUNT #	ACCOUNT DESCRIPTION	TOTAL
10-01-34600	Backflow Solutions	\$545.00
10-01-35400	Dep/Ref Hydrant Meter - Water For Construction	\$1,200.00
10-01-35800	Flow Test	\$450.00
	WATER & SEWER FUND TOTAL	\$612,089.25
07-00-33900	Motor Fuel Tax	\$19,548.65
11-00-30900	Re Tx/Sp Svc District	\$52,801.05
25-00-30900	RE Tax - SSA #4	\$188,409.91
	GRAND TOTAL ALL FUNDS	\$2,798,808.39



PUBLIC WORKS

411 N Prospect Ave
Itasca, Illinois 60143-1795
Tel: 630-773-2455 Fax: 630-773-9856
www.itasca.com

MEMORANDUM

Date: July 27, 2016

To: Village President
Board of Trustees
Village Administrator

From: Ross Hitchcock, Director of Public Works *RH*

RE: Painting Usher Park Gazebo and Swan House

The gazebo and swan house in Usher Park are in need of repair and painting. We have received three quotes from qualified painting contractors. The low quote for both structures is \$10,700 from Triangle Decorating Company. The project scope includes power washing, sanding, primer, three coats of paint, porch/deck enamel for the floor.

I recommend accepting Triangle's quote of \$10,700 to refurbish both structures. Attached please find two quotes including the scope of work for both structures. This is a budgeted item.



**TRIANGLE
DECORATING COMPANY**

July 8, 2016

Mr. John Heimburger
Itasca Public Works
411 N. Prospect Ave.
Itasca, IL 60143

Gazebo

Re: **Itasca Gazebo and Swan House**
411 N. Prospect Ave
Itasca, IL 60143

Dear John:

We propose to furnish the labor, material, and equipment necessary to professionally complete the painting required on the subject job as follows:

BID FOR THE SUM OF: \$7,500.00

The above bid is based upon the following:

BID DOCUMENTS:

1. Per conversation with John Heimburger

CLARIFICATIONS:

1. All work performed during regular working hours unless otherwise noted herein.
2. All work completed prior to June 1, 2017
3. A site visit was not made for this job.
4. All work per PDCA standards and specifications

SCOPE OF WORK:

1. Rinse gazebo (with a power washer) to rid substrate of all loose dirt, debris, and paint.
2. Let gazebo dry for a day or two.
3. Scrape and sand remaining peeling paint to prepare wood for new paint finish. *3 coats*
4. Prime new and existing wood with oil based primer.
5. Finish coat all wood with acrylic semi-gloss exterior paint. (Match existing colors)
6. Prepare and paint floor with porch and deck enamel.
7. Clean area upon completion.

EXCLUSIONS:

1. Premium time.
2. Replacement of rotted wood.
3. Painting of ceiling inside the gazebo.

Sincerely,

Kevin Lynch

Kevin Lynch
Estimator



**TRIANGLE
DECORATING COMPANY**

July 8, 2016

Mr. John Heimbürger
Itasca Public Works
411 N. Prospect Ave.
Itasca, IL 60143

Re: **Itasca Gazebo and Swan House**
411 N. Prospect Ave
Itasca, IL 60143

Swan House

Dear John:

We propose to furnish the labor, material, and equipment necessary to professionally complete the painting required on the subject job as follows:

BID FOR THE SUM OF: \$3,200.00

The above bid is based upon the following:

BID DOCUMENTS:

1. Per conversation with John Heimbürger.

CLARIFICATIONS:

1. All work performed during regular working hours unless otherwise noted herein.
2. All work completed prior to June 1, 2017
3. A site visit was not made for this job.
4. All work per PDCA standards and specifications

SCOPE OF WORK:

1. Rinse swan house (with a power washer) to rid substrate of all loose dirt, debris, and paint.
2. Let swan house dry for a day or two.
3. Scrape and sand remaining peeling paint to prepare wood for new paint finish.
4. Prime new and existing wood with oil based primer.
5. Finish coat all wood with acrylic semi-gloss exterior paint. (Match existing colors)

EXCLUSIONS:

1. Inside of swan house.
2. Replacement of rotted wood.
3. Premium time.

Sincerely,

Kevin Lynch

Kevin Lynch
Estimator

RESOLUTION NO. 888-16

**A RESOLUTION AUTHORIZING ACCEPTANCE OF
TRIANGLE DECORATING COMPANY’S OFFER FOR
PAINTING AND REPAIRING USHER PARK GAZEBO AND SWAN HOUSE**

WHEREAS, the gazebo and swan house in Usher Park in the Village of Itasca (hereinafter “Village”) need repair and painting; and

WHEREAS, the Village received quotes from qualified painting contractors and the low quote is from Triangle Decorating Company for \$10,700, attached hereto as Exhibit A; and

WHEREAS, the Village’s Department of Public Works recommend accepting Triangle Decorating Company’s quote for repair and repainting of the Usher Park gazebo and swan house.

NOW, THEREFORE, BE IT RESOLVED by the Village President and the Board of Trustees of the Village of Itasca, DuPage County, Illinois, as follows:

SECTION ONE: The corporate authorities of the Village of Itasca hereby accept the quote from Triangle Decorating Company for the painting of the Usher Park gazebo and swan house, attached hereto as Exhibit A.

SECTION TWO: SEVERABILITY. If any section, paragraph or provision of this Resolution shall be held to be invalid or unenforceable for any reason, the invalidity or unenforceability of such section, paragraph or provision shall not affect any of the remaining provisions of this Resolution.

SECTION THREE: REPEAL OF PRIOR RESOLUTIONS. All prior Resolutions and Ordinances in conflict or inconsistent herewith are hereby expressly repealed only to the extent of such conflict or inconsistency.

SECTION FOUR: EFFECTIVE DATE. This Resolution shall be in effect immediately upon its passage, approval and publication in pamphlet form.

AYES: _____

NAYES: _____

ABSENT: _____

ABSTAIN: _____

APPROVED and ADOPTED by the Village President and Board of Trustees of the
Village of Itasca this _____ day of August, 2016.

APPROVED:

Village President Jeffery J. Pruyn

ATTEST:

Village Clerk Melody J. Craven