

Village of Itasca

550 W. Irving Park Rd., Itasca, Illinois 60143-2018

Committee of the Whole Meeting Agenda June 21, 2016

**(Immediately following Village Board Meeting)
(Upstairs Board Room)**

President: Jeffery J. Pruyn
Trustees: Jeff Aiani
Marty Hower
Michael J. Latoria
Ellen Leahy
Frank J. Madaras
Lucy Santorsola
Clerk: Melody J. Craven
Administrator: Evan Teich

Phone: 630.773.0835
FAX: 630.773.2505

1. Call to Order; Roll Call
2. Pledge of Allegiance
3. Audience Participation
4. President's Comments
 - a. Discussion and possible action concerning Relief from Building Code for 400 E. Walnut Street (Itasca Country Club)

Documents: [CD MEMO.PDF](#), [CD MEMO PLANS.PDF](#)

5. Community Development Committee
Trustee Latoria, Chairperson
6. Administration Committee
Trustee Santorsola, Chairperson
7. Environmental Committee
Trustee Leahy, Chairperson
8. Finance Committee
Trustee Hower, Chairperson
9. Public Safety Committee
Trustee Madaras, Chairperson
10. Public Works/Infrastructure Committee
Trustee Aiani, Chairperson
 - a. Elgin O'Hare update presentation by Robinson Engineering
 - b. Update on the agreement with the Illinois Department of Transportation relating to grass-

cutting and property maintenance adjacent to the sound walls along I-290

Documents: [IDOT LANDSCAPING MAINTENANCE ISSUE PER TOLLWAY IGA UPDATE 062116.PDF](#), [MAINTENANCE AREA MARKUP FOR DISCUSSION COW 062116.PDF](#)

- c. Discussion and possible action concerning a Final Bid Cost Participation for Illinois Tollway Contract I-13-4629, Illinois Route 390 from Park Boulevard to Arlington Heights Road

Documents: [RECOMMENDATION FOR COST PARTICIPATION LETTER APPROVAL CONSIDERATION 062116.PDF](#), [REDUCED SIZE-TOLLWAY COST SHARING LETTER REQUEST 20160503.PDF](#), [AC FENCE LIMITS - EXISTING AND PROPOSED MARKUPS.PDF](#)

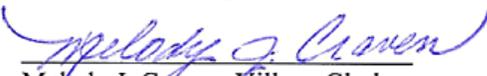
- d. Discussion and possible action concerning Illinois Route 390 Overall Access Control Fencing Exhibit Request for Direction regarding Future Fencing Enhancements

Documents: [RECOMMENDATION FOR FUTURE ACCESS CONTROL FENCE UPGRADES PARTICIPATION 062116.PDF](#), [CROPPED-DW_CH2M_SA_4014 - ACCESSCONTROLFENCING_05232016.PDF](#), [EXPENDITURE THERMOMETER UPDATE REDUCED 062116.PDF](#)

11. Department Head Reports
12. Executive Session
13. Adjournment



Evan Teich, Village Administrator



Melody J. Craven, Village Clerk



550 W. Irving Park Road, Itasca, Illinois 60143-2018
630-773-0835 • Fax 630-773-2505 • www.itasca.com

Memorandum

TO: Village President Jeff Pruyn and Itasca Board of Trustees
FROM: Nancy Hill, Community Development Director
DATE: June 16, 2016 for June 21, 2016 Village Board COW Meeting
RE: Relief from Building Code for 400 E. Walnut Street (Itasca County Club)

The Itasca Country Club is requesting relief from the Building Code for the installation of a new deck around the pool and snack stand.

The Building Code Amendments requires that the proposed deck be constructed out of non-combustible materials because of where the deck is located and because it is secured an existing masonry structure. The local Building Code amendments prohibits Type V combustible construction, which is usually treated wood. An acceptable construction material, under the Code amendments, would be fire retardant wood or any non-combustible material. However, fire retardant wood is generally not available for deck floor construction, and if it is available, it is not available at a reasonable cost.

Village staff and the Itasca Fire Protection District have reviewed this request for relief from the Building Code and recommend granting the relief from the Building Code for the deck surface, railings, and guard materials. We recommend the Itasca County Club use either non-combustible or fire-retardant treated materials for framing, including columns, joists, rafters, and roof decking. See also attached memo from Leigh Fabbri, Itasca Fire Protection District.

Staff Recommendation

Staff recommends the following motion be made:

I move to approve the requested relief from the Building Code amendments to allow the proposed deck at 400 E. Orchard Street to be of combustible construction with the following conditions:

1. The combustible construction be for construction allowed by Building Permits #25110 and #25112 only.
2. The combustible construction be for the deck's surface, railing, and guard materials only.
3. Non-combustible or fire-retardant treated materials be used for the deck's framing including columns, joists, rafters, and roof decking.

Should you have any questions, please contact me in advance of the meeting. I can be reached at 630-228-5621 or nhill@itasca.com.



**ITASCA FIRE PROTECTION DISTRICT NO. 1
520 W. IRVING PARK ROAD, ITASCA, IL 60143**

**James F. Burke, Jr.
Fire Chief**

Administration: 630-773-1223

Fire Prevention: 630-773-1240

Fax: 630-773-3381

June 13, 2016

To: Ms. Shannon Malik

From: Leigh Fabbri, Director
Bureau of Fire Prevention

Subject: Itasca Country Club,
Request for relief from Ordinance 1464-08, §150.11(C), 503

I have reviewed the request from Itasca Country Club from Ordinance 1464-08, which prohibits Type V construction, i.e. combustible.

The Itasca Fire Protection District recommends the Village of Itasca allow the applicant to use Type V for the deck surface, railing and guard materials. The applicant should use either non-combustible or fire-retardant treated materials for framing including columns, joists, rafters and roof decking.

Please feel free to contact me with any questions

Sincerely,

A handwritten signature in cursive script that reads "Leigh Fabbri".

Serving the Community Since 1909



Nancy Hill
Community Development Director
Village of Itasca
550 W. Irving Park Road
Itasca, IL 60143
Office: 630-773-5568
nhill@itasca.com

Nancy,

We kindly request to use treated wood instead of fire retardant wood on our pool deck and snack stand as indicated on the attached drawings and as submitted to the Community Development Department for Permit 25110 & Permit 25112 for the Itasca Country Club.

Because the structures will be built adjacent to a cement patio and our swimming pool, we do not believe that the use of treated wood will cause a risk to public health. Given the increased cost of and the increased time to acquire fire retardant wood vs. treated wood, we ask for relief from the Village's adopted building codes to allow for use treated wood instead of fire retardant wood on our pool deck and snack stand.

In order to obtain approval for this request, we would like to be on the agenda for the Committee of the Whole Meeting on Tuesday, June 21 at 7 PM to meet with you and the village board. Please let me know if you have any questions or need any additional information. Thank you.

Sincerely,

Leeann Repta
General Manager
Itasca County Club
400 East Orchard
Itasca, IL 60143
lrepta@itascagolf.com
Direct: (630) 361-8059
Fax: (847) 952-4828

BUILDING CODES	DISCIPLINES
ITASCA, ILLINOIS 2008 INTERNATIONAL BUILDING CODE W/ AMENDMENTS BY THE 2008 ITASCA BUILDING CODE 2008 NATIONAL ELECTRICAL CODE 2006 INTERNATIONAL FIRE CODE 2006 INTERNATIONAL PLUMBING CODE - OR 2004 ILLINOIS PLUMBING CODE 1997 ILLINOIS ACCESSIBILITY CODE 2006 INTERNATIONAL MECHANICAL CODE 2006 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE	ARCHITECT CORNICI & ROSE INTERNATIONAL, LLC

GENERAL NOTES

- THE CONTRACTOR SHALL CONSULT WITH THE BUILDING OWNER AND ADHERE TO ALL REGULATIONS OF THE BUILDING AS TO AND METHOD OF MATERIAL DELIVERY, DEBRIS REMOVAL, HOURS OF DEMOLITION AND NOISY CONSTRUCTION.
 - CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
 - DO NOT SCALE DRAWINGS. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
 - ALL WORK SHALL BE DONE TO COMPLY WITH ALL APPLICABLE GOVERNMENTAL BUILDING CODES AND REQUIREMENTS OF THE LATEST EDITION OF THE ILLINOIS ACCESSIBILITY STANDARDS.
 - ALL DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBSTRUCTED AND READILY OPERATIONAL WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OF A KEY FROM THE SIDE FROM WHICH EGRESS IS MADE.
 - FLAME SPREAD RATINGS: ALL MATERIALS USED FOR INTERIOR WALL, CEILING AND FLOOR FINISHES INCLUDING INTERIOR TRIM, SHALL HAVE THE FOLLOWING RATINGS:
A. STAIRWAYS, LOBBIES AND PUBLIC CORRIDORS - CLASS 1 FLAME SPREAD (0-25) SMOKE DEVELOPED 200.
B. INTERIOR OFFICES & SPACES - CLASS 2 (26-75)
C. ALL FLOOR COVERINGS - CLASS B INTERIOR FLOOR FINISH (CRITICAL RADIANT FLUX BETWEEN 22 WATTS/SQ. CENTIMETER & .44 WATTS/SQ. CENTIMETER).
- (NOTE: ALL CLASS 2 MATERIALS ARE LIMITED TO 7500 SF OR LESS.)

- IT IS AGREED THAT THE PROFESSIONAL SERVICES OF THE ARCHITECT DO NOT EXTEND TO, OR INCLUDE THE REVIEW OF SITE OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE. IT IS FURTHER AGREED THAT THE OWNER WILL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIM OR SUIT WHATSOEVER, INCLUDING BUT NOT LIMITED TO ALL PAYMENTS, EXPENSES OR COSTS INVOLVED, ARISING FROM OR ALLEGED TO HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE CONTRACTOR'S WORK TO CONFORM TO THE DESIGN INTENT AND THE CONTRACT DOCUMENTS. THE ARCHITECT AGREES TO BE RESPONSIBLE FOR HIS/HER OWN AND HIS/HER EMPLOYEES NEGLIGENT ACTS, ERRORS OR OMISSIONS.

GENERAL CONSTRUCTION

- ALL WALL SURFACES TO BE FREE OF DEFECTS AND TAPED, FILLED, SANDED SMOOTH AND PRIMED TO RECEIVE BUILDING STANDARD PAINT FINISH.
- ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING CONSTRUCTION.
- ALL PARTITION CONSTRUCTION SHALL BE SPECIFIED ON THESE DRAWINGS AND SHALL BE OF THE BEST ACCEPTED PRACTICE OF THE CONSTRUCTION INDUSTRY. GYPSUM BOARD PARTITION COMPONENTS SHALL BE MANUFACTURED BY UNITED STATES GYPSUM OR APPROVED EQUAL. ALL GYPSUM BOARD JOINTS, CORNERS AND EXPOSED EDGES SHALL BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. EXPOSED CORNERS SHALL HAVE CORNER BEAD, EXPOSED EDGES SHALL HAVE METAL TRIM.

DRAWING INDEX

ARCHITECTURAL
A1.0 COVER SHEET / DEMO PLAN
A1.1 POOL DECK PLANS
A1.2 POOL DECK SECTIONS & DETAILS
A1.3 SNACK SHACK PLANS, SECTIONS & ELEVATIONS

CONCRETE NOTES

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- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTH OF F_c=4000 PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED WITH 6% AIR CONTENT.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- UNLESS NOTED OTHERWISE, ALL SLABS-ON-GRADE SHALL BE REINFORCED WITH ONE (1) LAYER OF 6X6 W2.1xW2.1 W.W.F.
- ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 3'-6" BELOW FINISH GRADES.
- PLACE ALL SLABS ON GRADE WITH AN APPROVED PATTERN AND SEQUENCE OF CONSTRUCTION AND CONTROL JOINTS (MAXIMUM OF 15'-0" O.C.) TO MINIMIZE SHRINKAGE CRACKS.
- CONCRETE MIX DESIGN SHALL BE SUBMITTED TO ARCHITECT / ENGINEER FOR REVIEW
- ALL FOOTINGS TO BEAR ON SOIL CAPABLE OF RESISTING 3,000 PSF NET ALLOWABLE LOAD.

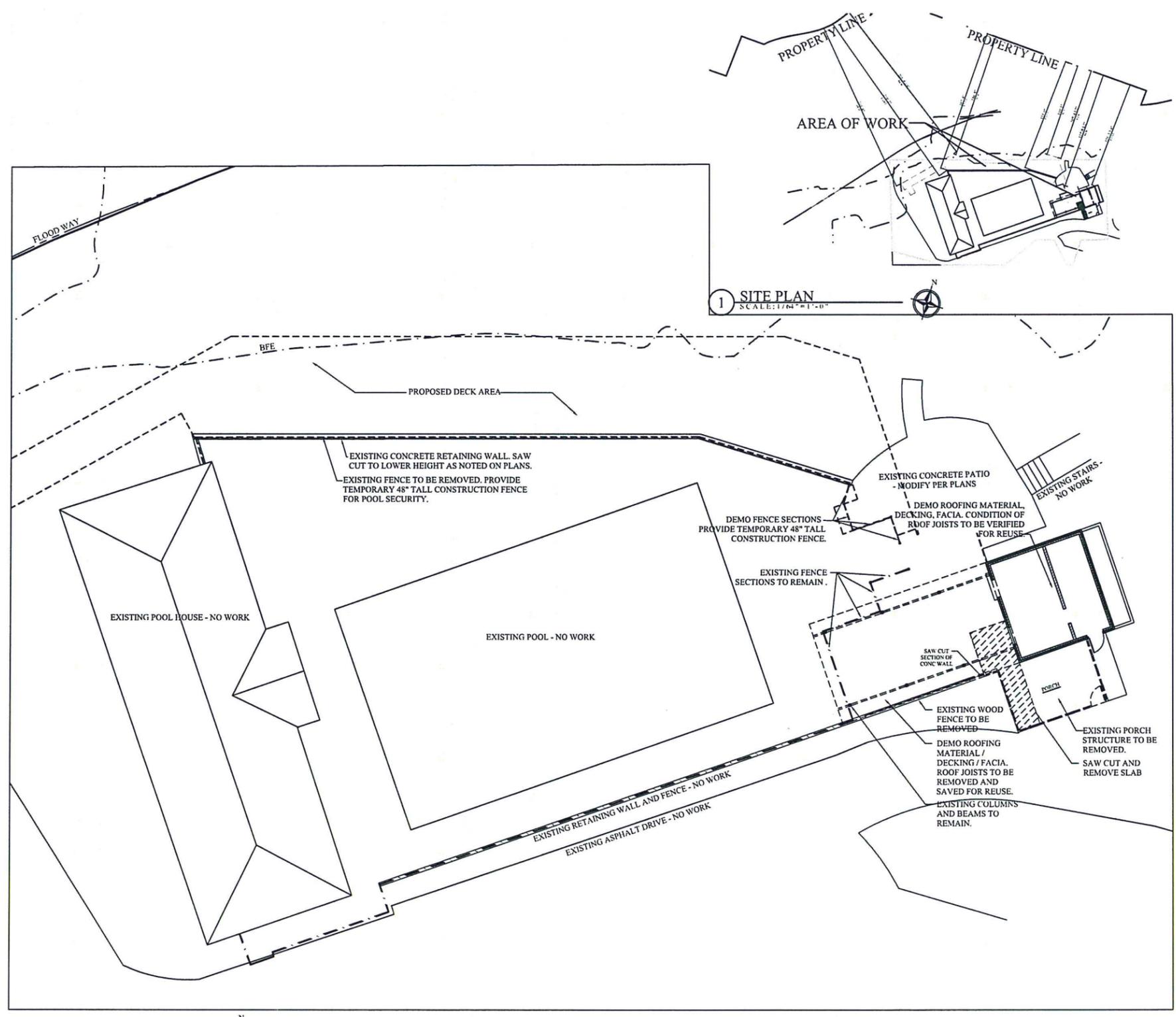
DESIGN LOADS

1. DESIGN LOADS	
DECKS:	
LIVE: 100 PSF	
FRAMING: 10 PSF	
ROOF:	
SNOW LOAD: 25 PSF	
FRAMING: 10 PSF	
ROOFING: 5 PSF	
2. LUMBER SPECIFICATIONS:	
FLOOR / ROOF JOISTS: HEM FIR #2	F _b = 850 PSI
OR 6X6 TO 8X8 POST	E = 1,300,000 PSI
STUDS: HEM FIR STUD	F _b = 675 PSI
	E = 1,200,000 PSI
LVL (MICRO LAM):	F _b = 2,600 PSI
	E = 1,900,000 PSI
PARALLAM (WOLMANIZED):	F _b = 2,090 PSI
	E = 1,740,000 PSI
PARALLAM (PSL COLS):	F _b = 2,400 PSI
	F _c = 2,500 PSI
	E = 1,800,000 PSI

- PROVIDE 1/2" DIAMETER SILL ANCHOR BOLTS AT 5'-0" O.C. AND LOCATED NO FURTHER THAN 12" FROM BUILDING CORNERS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE.
- CUTTING AND NOTCHING OF STUDS SHALL COMPLY WITH THE REQUIREMENTS OF THE IRC R602.6
- CUTTING AND NOTCHING OF FLOOR AND CEILING JOISTS SHALL MEET WITH THE REQUIREMENTS OF IRC R502.8
- ALL HEADERS SHALL BE (2) 2X12's (HEM FIR #2) U.N.O. SEE LINTEL SCHEDULE FOR MASONRY. MINIMUM (2) 2X4 COLUMN AT EACH END OF ALL WOOD BEAMS & HEADERS (MAX. SPAN 4'-0")
- HOLES BORED IN FLOOR JOISTS SHALL COMPLY WITH IRC R502.8.
- ALL PLYWOOD SHEATHING IS TO BE APA APPROVED.
- EITHER LAP JOISTS OVER BEAMS PER IRC REQUIREMENTS, OR PROVIDE JOIST HANGERS.
- ALL TIMBER CONNECTIONS (STUDS, JOISTS, RAFTERS AND PLYWOOD) SHALL MEET THE NAILING REQUIREMENTS OF IRC TABLE R602.3 AND R602.5.1(9).
- ALL DECK CONNECTORS AND THOSE CONNECTING THE PRESSURE TREATED LUMBER SHALL BE GALVANIZED PER ASTM A653 (I.E. SIMPSON ZMAX FINISH). ALL NAILS USED IN PRESSURE TREATED LUMBER AND DECK CONNECTORS SHALL BE GALVANIZED PER ASTM A153.
- PROVIDE BRIDGING AND BLOCKING PER THE REQUIREMENTS OF NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) DESIGN SPECIFICATIONS.
- WHERE TIMBER FRAMING IS SUPPORTED BY STEEL, A TIMBER PLATE SHALL BE FASTENED TO THE TOP FLANGE OF THE STEEL BEAM. HULTI POWDER ACTUATED FASTENERS (OR EQUIVALENT) SHALL BE USED @ 24" O.C. (MAX)
- ALL 2x STUD WALLS OVER 8'-0" HIGH TO HAVE 1"x4" LET IN CORNER BRACING.
- ALL STUD WALLS TO HAVE SINGLE 2x BOTTOM PLATE & DOUBLE 2x TOP PLATE U.N.O.
- ALL WOOD IN CONTACT WITH CONCRETE & EXPOSED TO ENVIRONMENT TO BE PRESSURE TREATED LUMBER.

ITASCA COUNTRY CLUB

- POOL DECK & SNACK SHACK MODIFICATIONS -



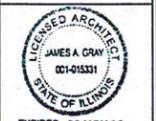
1 GROUND LEVEL PLAN
SCALE: 1/32" = 1'-0"

1 SITE PLAN
SCALE: 1/64" = 1'-0"



ITASCA COUNTRY CLUB
400 EAST ORCHARD ST.
ITASCA, ILLINOIS

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REVISIONS:
01-PLAN REVIEW 4/6/2016
02-STRUCTURAL REV. 5/5/2016

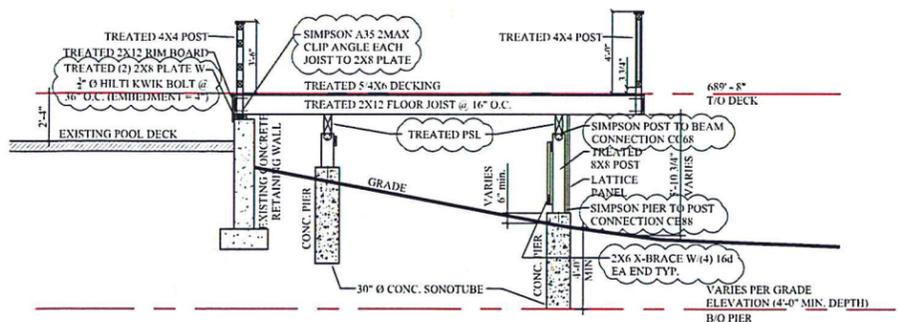
DATE: 21 MARCH 2016

JOB NUMBER: 2016-123

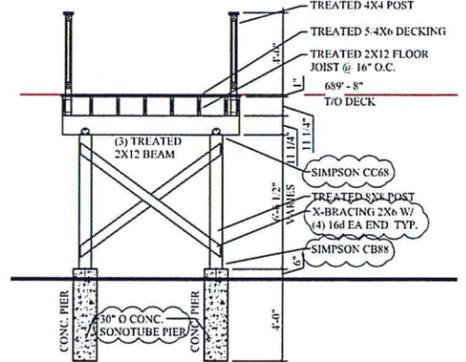
SHEET TITLE: COVER SHEET, DEMO PLANS

SHEET NUMBER:

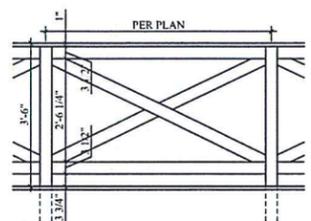
A1.0



1 DECK SECTION
SCALE: 1/4" = 1'-0"



2 DECK SECTION
SCALE: 1/4" = 1'-0"

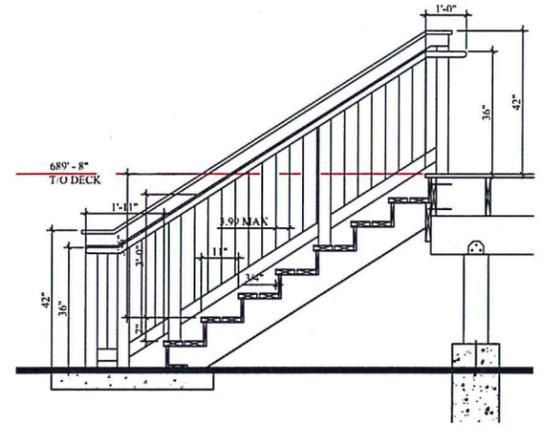


RAILING 'A' - NON GUARD RAIL REQ'D @ LOCATIONS LESS THAN 30" ABOVE ADJACENT LEVEL

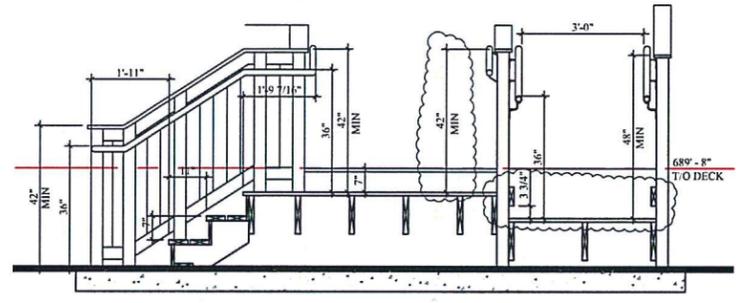


RAILING 'B' - GUARD RAIL REQUIRED.

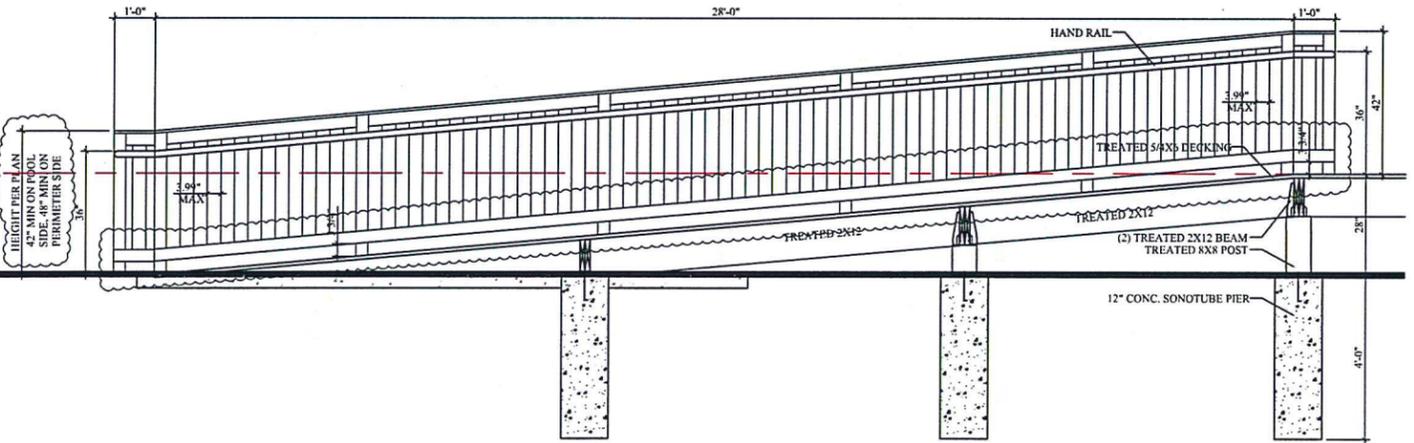
3 GROUND LEVEL PLAN
SCALE: 1/2" = 1'-0"



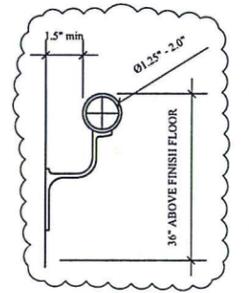
4 STAIR SECTION
SCALE: 1/2" = 1'-0"



5 STAIR / RAMP SECTION
SCALE: 1/2" = 1'-0"

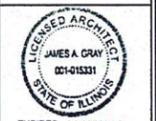


6 RAMP SECTION
SCALE: 1/2" = 1'-0"



7 HAND RAIL DTL.
SCALE: 3" = 1'-0"

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EXPIRES 30.NOV.16
James A. Gray
SIGNATURE

REVISIONS:
01 - PLAN REVIEW 4/6/2016
02 - STRUCTURAL REV. 5/5/2016

DATE:
21 MARCH 2016

JOB NUMBER:
2016-125

SHEET TITLE:
POOL DECK - SECTIONS & DETAILS

SHEET NUMBER:

ITASCA COUNTRY CLUB
400 EAST ORCHARD ST.
ITASCA, ILLINOIS

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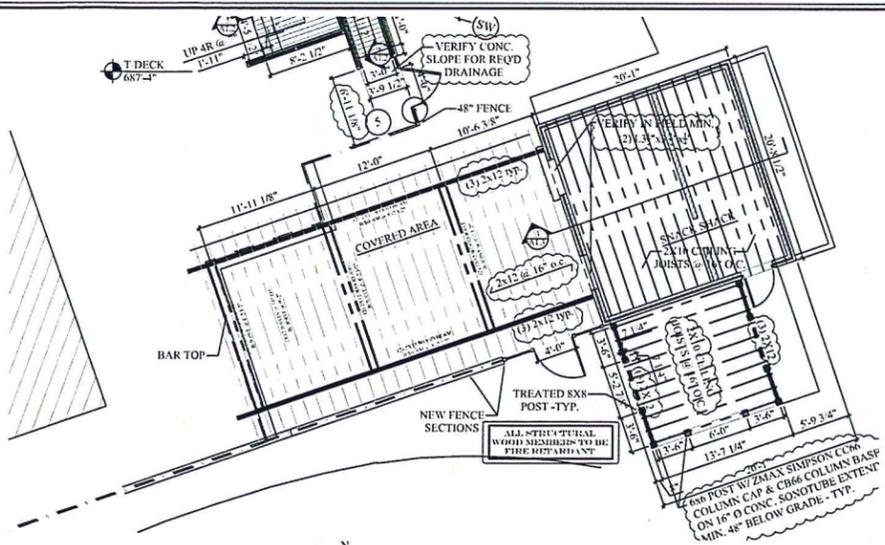
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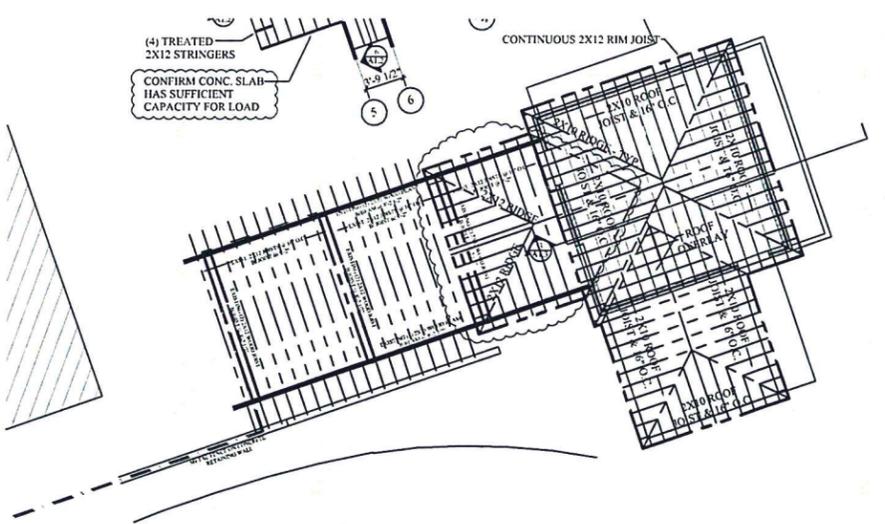
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SHEET TITLE:
SNACK SHACK
PLANS,
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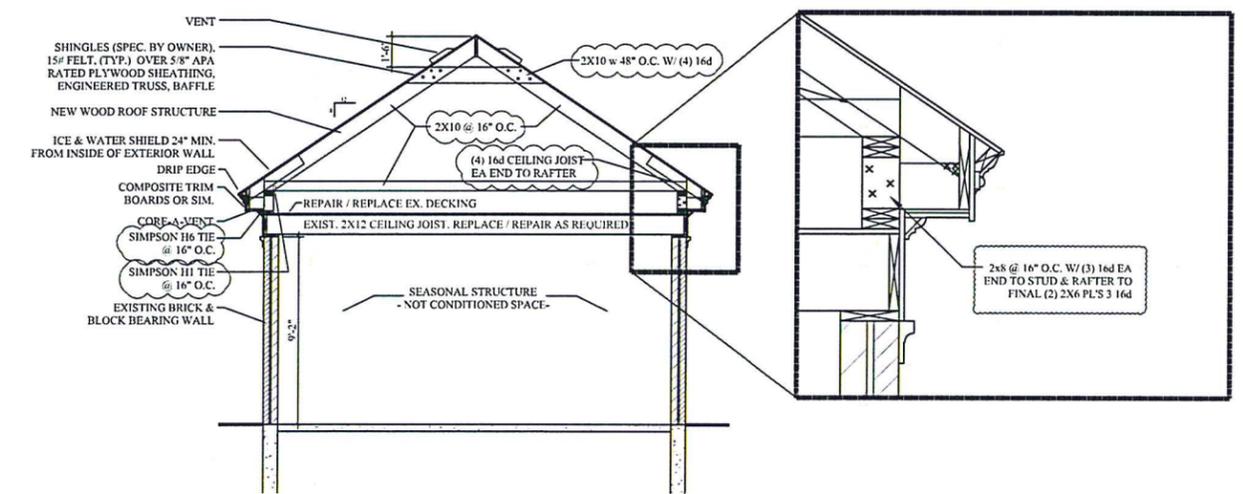
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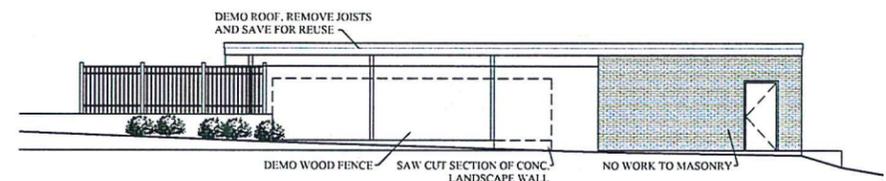
1 GROUND LEVEL PLAN
SCALE: 1/8" = 1'-0"



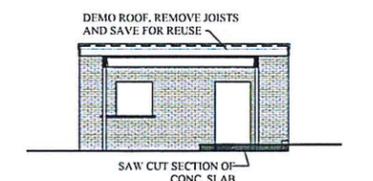
2 ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



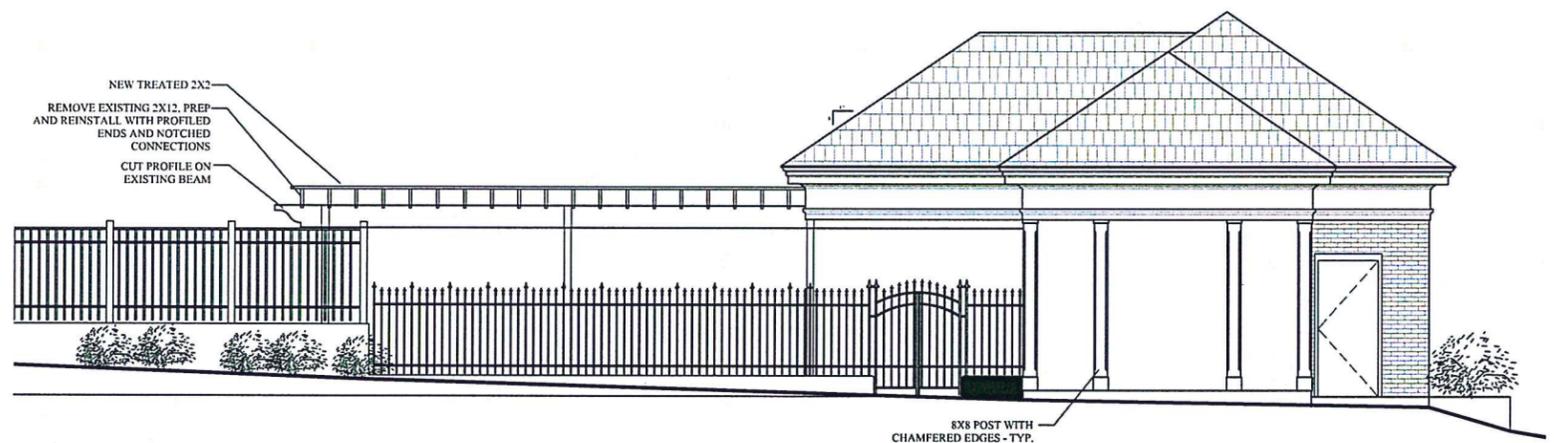
3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



4 EXIST. SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



5 EXIST. WEST ELEVATION
SCALE: 1/8" = 1'-0"



6 NEW SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



7 NEW WEST ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING CODES

ITASCA, ILLINOIS
 2008 INTERNATIONAL BUILDING CODE W/ AMENDMENTS BY THE 2008 ITASCA BUILDING CODE
 2008 NATIONAL ELECTRICAL CODE
 2006 INTERNATIONAL FIRE CODE
 2006 INTERNATIONAL PLUMBING CODE - OR
 2004 ILLINOIS PLUMBING CODE
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 2006 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE

DISCIPLINES

ARCHITECT
 CORNICE & ROSE INTERNATIONAL, LLC

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 A1.2 FLOOR PLAN

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- ALL FOOTINGS TO BEAR ON SOIL CAPABLE OF RESISTING 3,000 PSF NET ALLOWABLE LOAD.

DESIGN LOADS

- DESIGN LOADS
 DECKS:
 LIVE: 100 PSF
 FRAMING: 10 PSF
 ROOF:
 SNOW LOAD: 25 PSF
 FRAMING: 10 PSF
 ROOFING: 5 PSF
- LUMBER SPECIFICATIONS:
 FLOOR / ROOF JOISTS: HEM FIR #2 Fb = 850 PSI
 OR 6X6 TO 8X8 POST E = 1,300,000 PSI
 STUDS: HEM FIR STUD Fb = 675 PSI
 E = 1,200,000 PSI
 LVL (MICRO LAM): Fb = 2,600 PSI
 E = 1,900,000 PSI
 PARALLAM (WOLMANIZED): Fb = 2,090 PSI
 E = 1,740,000 PSI
 PARALLAM (PSL COLS): Fb = 2,400 PSI
 Fc = 2,500 PSI
 E = 1,800,000 PSI

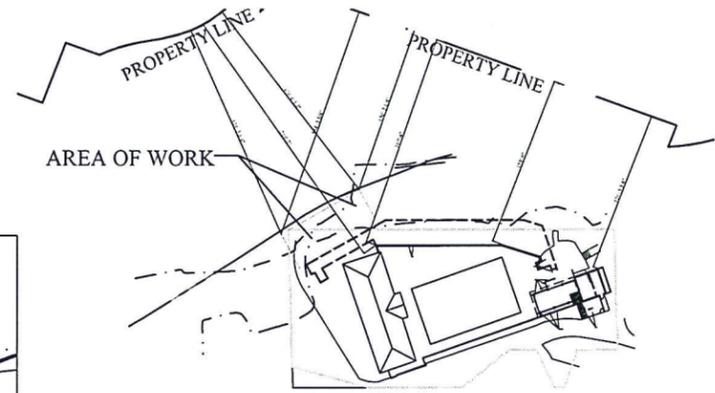
GENERAL CONSTRUCTION

- ALL WALL SURFACES TO BE FREE OF DEFECTS AND TAPED, FILLED, SANDED SMOOTH AND PRIMED TO RECEIVE BUILDING STANDARD PAINT FINISH.
- ALL PARTITIONS SHOWN "ALIGN" ARE TO BE SMOOTH AND FLUSH WITH EXISTING CONSTRUCTION.
- ALL PARTITION CONSTRUCTION SHALL BE SPECIFIED ON THESE DRAWINGS AND SHALL BE OF THE BEST ACCEPTED PRACTICE OF THE CONSTRUCTION INDUSTRY. GYPSUM BOARD PARTITION COMPONENTS SHALL BE AS MANUFACTURED BY UNITED STATES GYPSUM OR APPROVED EQUAL. ALL GYPSUM BOARD JOINTS, CORNERS AND EXPOSED EDGES SHALL BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. EXPOSED CORNERS SHALL HAVE CORNER BEAD, EXPOSED EDGES SHALL HAVE METAL TRIM.

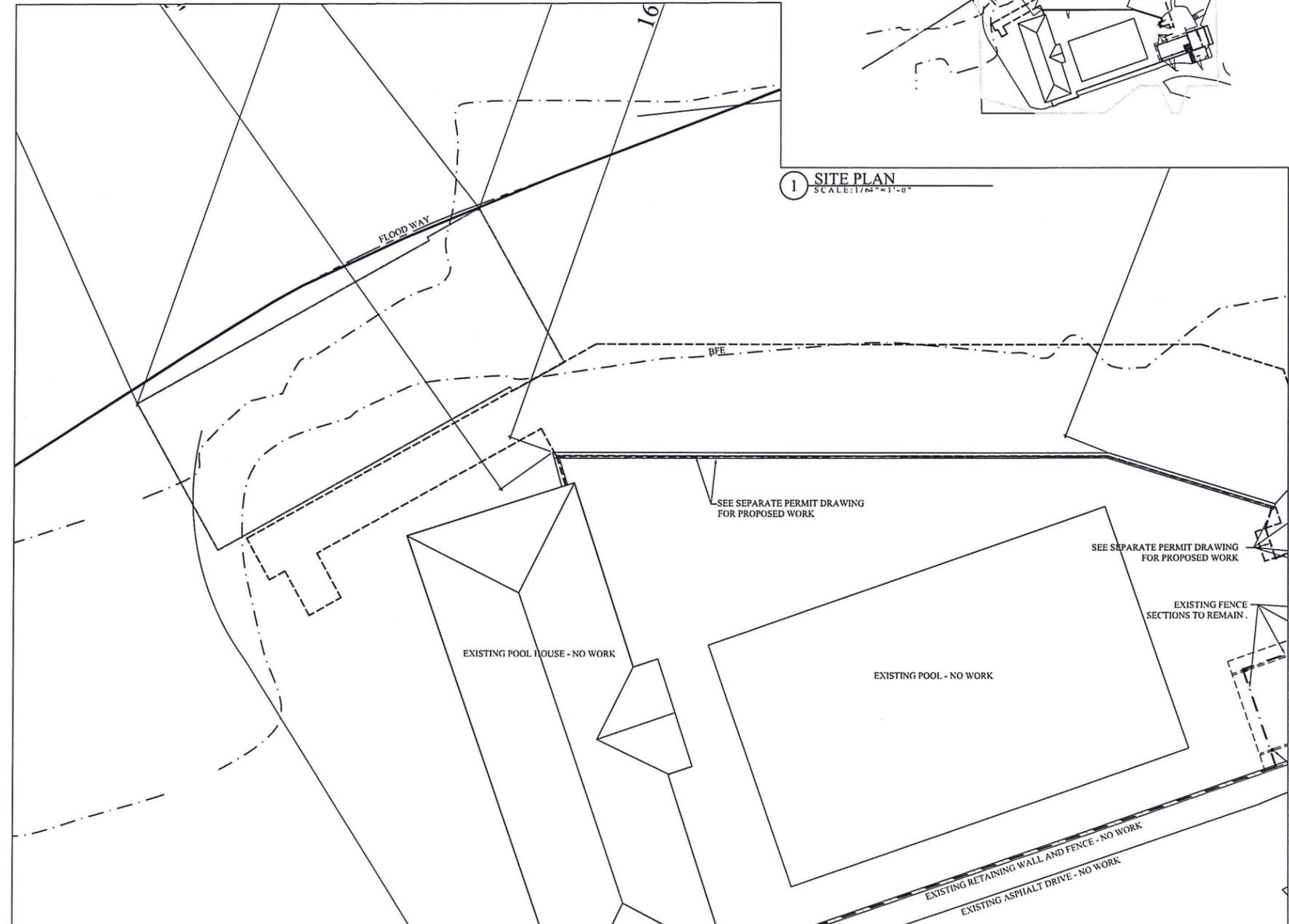
- PROVIDE 1/2" DIAMETER SILL ANCHOR BOLTS AT 5'-0" O.C. AND LOCATED NO FURTHER THAN 12" FROM BUILDING CORNERS. THERE SHALL BE A MINIMUM OF 2 BOLTS PER PLATE.
- CUTTING AND NOTCHING OF STUDS SHALL COMPLY WITH THE REQUIREMENTS OF THE IRC R602.6.
- CUTTING AND NOTCHING OF FLOOR AND CEILING JOISTS SHALL MEET WITH THE REQUIREMENTS OF IRC R502.8.
- ALL HEADERS SHALL BE (2) 2X12s (HEM FIR #2) U.N.O. SEE LINTEL SCHEDULE FOR MASONRY. MINIMUM (3) 2X4 COLUMN AT EACH END OF ALL WOOD BEAMS & HEADERS (MAX. SPAN 4'-0").
- HOLES BORED IN FLOOR JOISTS SHALL COMPLY WITH IRC R502.8.
- ALL PLYWOOD SHEATHING IS TO BE APA APPROVED.
- EITHER LAP JOISTS OVER BEAMS PER IRC REQUIREMENTS, OR PROVIDE JOIST HANGERS.
- ALL TIMBER CONNECTIONS (STUDS, JOISTS, RAFTERS AND PLYWOOD) SHALL MEET THE NAILING REQUIREMENTS OF IRC TABLES R602.3 AND R602.5.1(9).
- ALL DECK CONNECTORS AND THOSE CONNECTING THE PRESSURE TREATED LUMBER SHALL BE GALVANIZED PER ASTM A653 (I.E. SIMPSON ZMAX FINISH). ALL NAILS USED IN PRESSURE TREATED LUMBER AND DECK CONNECTORS SHALL BE GALVANIZED PER ASTM A153.
- PROVIDE BRIDGING AND BLOCKING PER THE REQUIREMENTS OF NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) DESIGN SPECIFICATIONS.
- WHERE TIMBER FRAMING IS SUPPORTED BY STEEL, A TIMBER PLATE SHALL BE FASTENED TO THE TOP FLANGE OF THE STEEL BEAM. HILLI POWDER ACTUATED FASTENERS (OR EQUIVALENT) SHALL BE USED @ 24" O.C. (MAX).
- ALL 2x STUD WALLS OVER 8'-0" HIGH TO HAVE 1"x4" LET IN CORNER BRACING.
- ALL STUD WALLS TO HAVE SINGLE 2x BOTTOM PLATE & DOUBLE 2x TOP PLATE U.N.O.
- ALL WOOD IN CONTACT WITH CONCRETE & EXPOSED TO ENVIRONMENT TO BE PRESSURE TREATED LUMBER.

ITASCA COUNTRY CLUB

- PADDLE COURT MODIFICATIONS -



1 SITE PLAN
 SCALE: 1/8" = 1'-0"



1 GROUND LEVEL PLAN
 SCALE: 3/32" = 1'-0"



ITASCA COUNTRY CLUB
 400 EAST ORCHARD ST.
 ITASCA, ILLINOIS

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EXPIRES 30.NOV.16
 Signature of James A. Gray

REVISIONS:
 01 - PLAN REVIEW 4/6/2016
 02 - STRUCTURAL REV. 5/5/2016

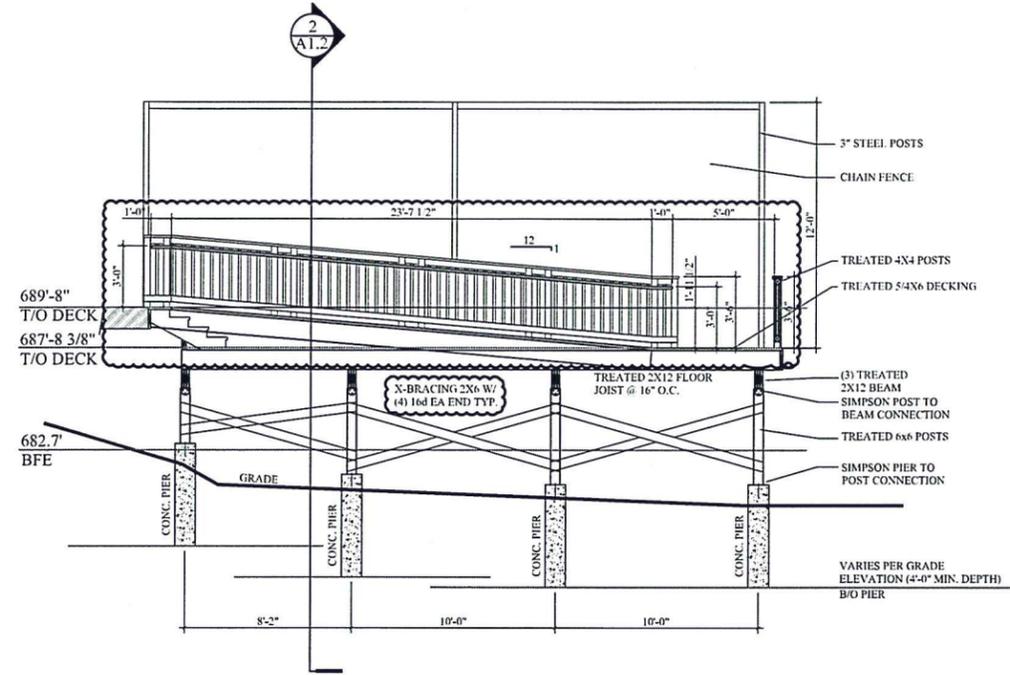
DATE: 21 MARCH 2016

JOB NUMBER: 2016-123

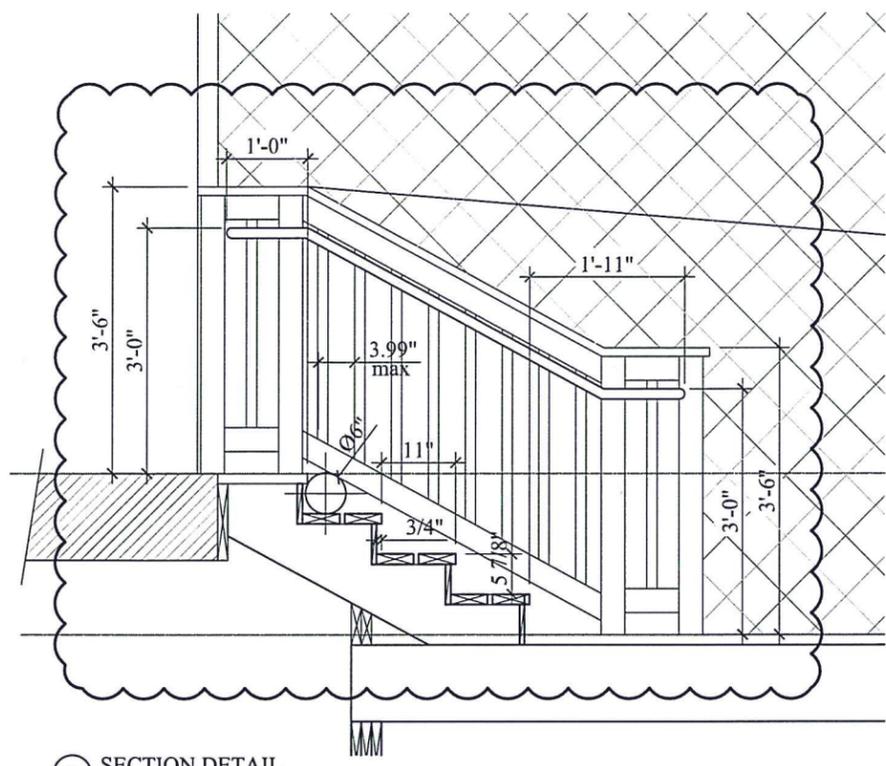
SHEET TITLE:
 COVER SHEET,
 DEMO PLANS

SHEET NUMBER:

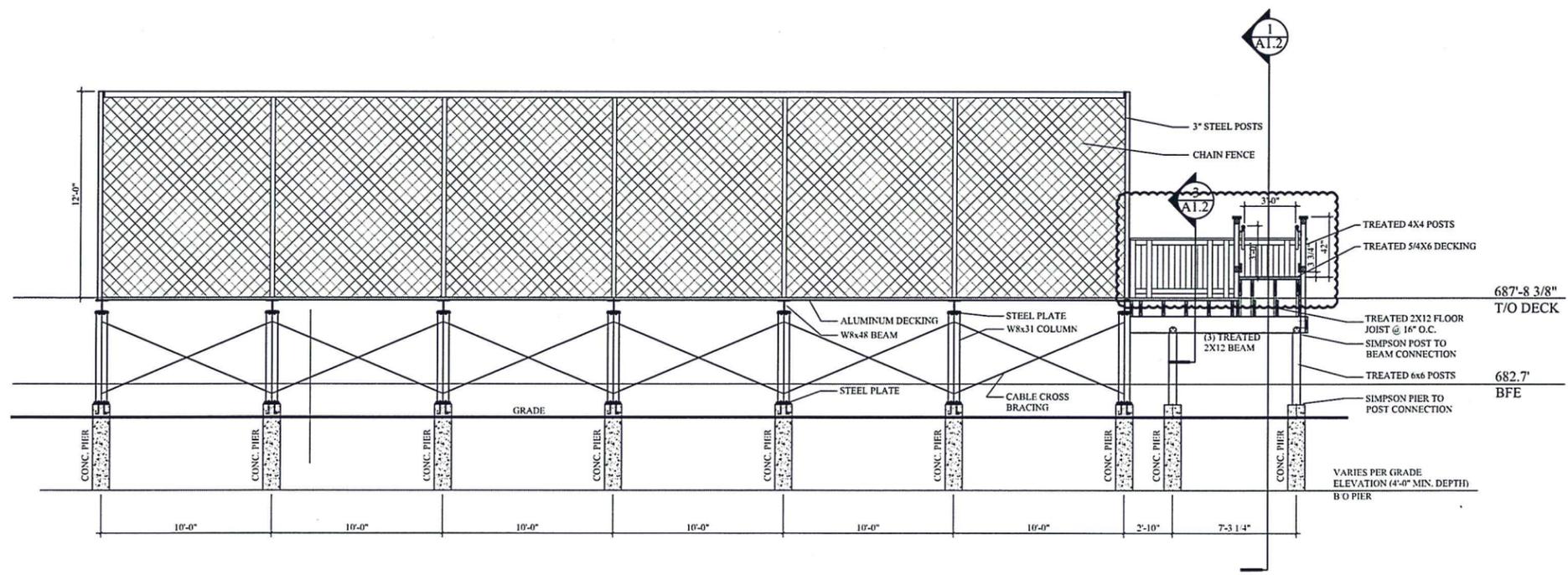
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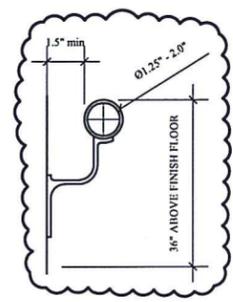
1 SECTION
SCALE: 1/4" = 1'-0"



3 SECTION DETAIL
SCALE: 1" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"



4 HAND RAIL DTL.
SCALE: 3" = 1'-0"

PLAN SYMBOLS	
	BUILDING SECTION
	SECTION
	DETAIL

Cornice & Rose
INTERNATIONAL

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REVISIONS:
01 - PLAN REVIEW 4/6/2016
02 - STRUCTURAL REV. 5/5/2016

DATE:
21 MARCH 2016

JOB NUMBER:
2016-123

SHEET TITLE:
DETAILS

SHEET NUMBER:

A1.2



MEMO

To: Village of Itasca Mayor and Village Board

From: Scott Marquardt, Associate/Project Manager

Subject: Update on maintenance Limits Jurisdiction disagreement with IDOT along I-290
noisewalls and resident request for maintenance update

Date: June 21, 2016

Mayor Pruyn and Village Board,

BACKGROUND

As you may recall, the Village, IDOT, and the Illinois Tollway entered into an Intergovernmental Agreement (IGA) in September 2014 regarding two Tollway contracts, 4600 and 4606.

Contract 4606 included the construction of ramps leaving I-290, the reconstruction of Park Boulevard (being renamed Clover Ridge Lane) north of the Clover Ridge subdivision, and the construction of retaining walls and noisewalls along I-290 and along Clove Ridge Lane. The contract included the addition of aesthetic leaf liner enhancements to the portion of the noisewall along Clover Ridge Lane only.

The terms of the IGA included maintenance responsibilities of the three parties to the agreement. A maintenance item which was added by IDOT near the end of the IGA negotiation phase included the maintenance by the Village of the parkway areas between the noise walls and the right of way line, as these areas, adjacent to a Village-jurisdiction roadway (Clover Ridge Lane) were not accessible by IDOT.

After much discussion, terms were finalized and agreed to by the Village Board. The Village Board approved this IGA on July 22, 2014, the IDOT approved this IGA on July 29, 2014, and the Illinois Tollway finally approved the IGA on September 24, 2014.

HISTORY

At a recent Coffee with the Mayor event, a resident commented about their concerns with lack of maintenance of an area of IDOT right of way between the new noise wall along I-290 and the adjacent residents' properties. Village staff has evaluated the residents concern, noted that this was within the IDOT right of way, and had notified IDOT with a request for maintenance.

At an event earlier this month, the Mayor crossed paths with John Fortman, the District One Engineer for IDOT, and again mentioned this concern. Mr. Fortmans' office provide a response on June 14th, that they had investigated the complaint of weeds growing in this area between the noisewall and the chain link fence at the property line. They quoted language from the IGA that "The Village agrees to be responsible for maintenance of the landscape barrier located between the backside of the accent noise walls and the right of way line, an as such the Village would be responsible for the resolution of the citizen's concern".

The IDOT interpretation of Village landscaping maintenance limits per the IGA is considerably different than the Village interpretation of the limits.

The attached exhibit shows three distinct IDOT right of way areas, and I offer the following comments regarding these areas:

- The resident complaint about weeds occurred in the southern section, which is highlighted in yellow.
- The northern section, highlighted in green, is the parkway along Park Boulevard (to be renamed Clover Ridge Lane). This is the only area which the Village negotiated and understood was to be Village maintenance responsibility, for mowing and maintenance of the landscaping plantings placed in that area.
- The central section, highlighted in pink, is an additional right of way area for which, at this point, we do not know IDOT's position on who they consider to be responsible for maintenance, but since this area is between the noisewall and the right of way we have to assume the worst case, which is that IDOT assumes per their interpretation of the IGA that this would also be Village maintenance responsibility.

On June 16th, Evan, Aaron, Nancy, Ross, and I met to discuss strategy on how to address this issue and to resolve the IGA interpretation discrepancy. From that meeting, the following actions have already occurred:

- As directed, I notified the IDOT agreements manager, who was involved in the IGA negotiation, in writing of the discrepancy between the two agencies interpretation of the IGA maintenance language. This correspondence included the Village opinion that only the green area was Village maintenance responsibility, asked for a response from IDOT prior to the June 21st Village Board meeting, and requested meetings, if necessary, to resolve this issue. A request for a schedule of when the area in question would be mowed was also included in the correspondence.
- As directed, I met with the Village Attorney, Charles Hervas, and provided him information related to the different interpretations, and informed him of the staff positions and understanding.
- As directed, I notified the Illinois Tollway of the concerns over the IGA language interpretation, and informed them that we are also currently reviewing and discussing other IGA-related project enhancements at the June 21st COW meeting, but that Village concern over this maintenance disagreement may have an influence on Village Board desire to enter into additional agreements until the maintenance jurisdiction conflict is resolved.

REQUESTED ACTION

Staff assembled this information for the Village Board so that all members were aware of the residents concern, the maintenance jurisdiction issue disagreement with IDOT, and the steps taken by staff to date to try to address the issue.

Staff is requesting input from the Village Board regarding any of their comments and concerns with the residents complaint, with the maintenance jurisdiction issue with IDOT, and also regarding steps taken to date.

Due to the ongoing communication with IDOT and the TOLLWAY, additional information may become available between the date the agenda packets are distributed and the June 21st COW meeting. This information may be distributed to board members in advance, or distributed at the COW Meeting, depending upon when, or if, this information is received by staff.

I will be in attendance at the June 21, 2016 Committee of the Whole meeting and will be available to provide and update and to answer questions.



MEMO

To: Village of Itasca Mayor and Village Board

From: Scott Marquardt, Project Manager

Subject: Village of Itasca/Illinois Tollway/IDOT/DuPage County/Township of Addison
Intergovernmental Agreement (IGA)
Illinois Route 390 Hamilton Lakes Drive to Arlington Heights Road
Recommendation for Execution of Cost Participation Letter (with conditions)

Date: June 21, 2016

Mayor Pruyne and Village Board,

BACKGROUND

As you are well aware, the Tollway has previously provided opportunities for the Village to include various additional work within their construction contracts, for items desired by the Village such as pedestrian improvements and bridge aesthetic enhancements. The enhancements which are the subject of this memo and Tollway letter are associated with the Illinois Route 390 contract from Hamilton Lakes Drive to Arlington Heights Road, also including Arlington Heights Road Improvements.

The Village and the Tollway have already entered into several Intergovernmental Agreements (IGA's) and will continue to enter into additional IGA's for the remaining construction contracts, and these IGA's will define the maintenance and cost participation terms between the two parties. Review of the last two IGA's is ongoing, but they are not yet finalized and ready to bring to Village Board for approval.

The Tollway issued the Notice to Proceed to the Contractor for this contract on July 6, 2015, and construction is well underway. Due to the dollar value of Village-desired enhancements which are included in this project, since the final IGA is not yet approved the Tollway has therefore requested written Village approval of the attached letter which describes the enhancements and their associated expenses.

HISTORY

At previous Village meetings, the Village board has expressed their desire to include various enhancements within the Tollway contracts. In the case of this project, only minor intersection pedestrian improvements are being included in this contract, as additional sidewalk and bikepaths will be completed as part of a future Village/ITEP contract. Other project enhancements do include the final section of enhanced noise wall panels (leaf liners), "VILLAGE OF ITASCA" naming inserts on the bridges over Hamilton Lakes Drive and Arlington Heights Road, a complete roadway lighting system along the South Frontage Road from Hamilton Lakes Drive to Arlington Heights Road, a new 12" watermain connection along Hamilton Lakes Drive, a new 8" watermain connection along Parkside Avenue, and black access control fencing at various location.

The attached Tollway letter states that the final estimated expenses to the City for these improvements will be \$248,771.45, and these costs are based upon actual contract bid prices.

REQUESTED ACTION

The Tollway is requesting that the Village approve the attached letter stating their concurrence with the bid costs associated with these desired enhancements and also confirming the Village's continued desire to include the requested enhancements.

FUNDING

The Village previously conveyed Parcel EO01B-12-905 (a permanent easement over Arlington Heights Road, and received land acquisition credits in the amount of \$47,000 for this conveyance. Once the value of these land credits are deducted, the expense to the Village for all of the associated contract enhancements are \$201,771.45, with 50% of the payment due to the Illinois Tollway in FY 16/17, and the balance due to the Illinois Tollway in FY 18/19. We have coordinated with the Finance Department so the necessary funding is already contained within the FY 16/17 budget.

All of these expenses are included within the most recent overall expenditure thermometer for the Elgin O'Hare Tollway project cost previously provided to the Village.

ANALYSIS

We are in agreement with the items and terms contained within the letter, with the exception of the limits and location of the access control fence along the South Frontage Road.

The current design plans include access control fencing between the EB Illinois Route 390 and the South Frontage Road, between Hamilton Lakes Drive and Arlington Heights Road, for a distance of about 2100 feet. This fencing is parallel to the South Frontage Road and is located about 6 feet from the north curb and gutter, and is desired by the Tollway so that their buried ITS fiber optic communications cables and conduits are located within a secured area. Along with the buried ITS conduits are 5 handholes that are constructed flush with the ground surface, which provide access to the ITS system cables.

- The location of this access control fence, as shown on the attached design sheets highlighted in orange, will severely restrict the ability of the Village to request landscaping enhancements in the parkway area between Illinois Route 390 and the South Frontage Road, severely limiting potential aesthetic improvements to this area which will be a key entry route to the Village.
- During the project design phase, we had requested alternative alignments of the access control fence or of the ITS system in order to maintain landscaping design flexibility, but those requests were unsuccessful.
- I have attached additional design drawings with suggested alternative access control fence segments highlighted in green, which will still provide security for the ITS handholes located in this parkway area. With only five handholes in a 2100 foot distance, this seems to be a viable alternative to provide security for the ITS system while not disrupting the potential landscaping enhancements which could be placed along this route.

SUMMARY AND RECOMMENDATION

- **I recommend that the Village Board consider providing direction to the Mayor to submit a request letter (which I will have drafted by the COW Meeting) to the Illinois Tollway requesting their redesign of the access control fence as shown in the attached exhibit.**
- **I also recommend that the Village Board consider providing direction to the Mayor to sign the attached cost participation letter which the Illinois Tollway has requested in the interim until the IGA can be finalized. This response should include comments that the Village is in agreement with all items of the request letter, except the limits and expense of the access control fencing, due to the requested redesign.**

I will be in attendance at the June 21, 2016 Committee of the Whole meeting and will be available to answer questions.

Move Illinois: *The Illinois Tollway Driving the Future*



May 3, 2016

Jeff Pruyn
Mayor
Village of Itasca
550 W. Irving Park Road
Itasca, IL 60143-1795

Attention: Evan Teich

Re: Illinois Tollway Contract I-13-4629, Illinois Route 390 from Park Boulevard to
Arlington Heights Road
Final Bid Cost Participation Transmittal

Dear Mr. Teich:

A letter regarding the final bid prices of the Village of Itasca's requested improvements requiring cost participation for the above referenced project (Contract I-13-4629) is attached along with associated final bid cost participation back-up documentation. In the letter, the Illinois Tollway requests that the Village of Itasca review the costs and confirm the continued request of the improvements.

The Village's concurrence is requested via a signed form to be mailed back to the Illinois Tollway. We would like to extend the requested response deadline to May 17, 2016. If you have any other questions or need further information, please contact me at (630) 241-6800 ext. 3841 or via email at mnashif@getipass.com. We appreciate your cooperation and look forward to working with you as we move forward with the project.

Sincerely,

A handwritten signature in black ink, appearing to read "Manar Nashif".

Manar Nashif, P.E.
Senior Project Engineer
cc: Rocco Zuccherro, Scott Marquardt – HR Green, Brian Connor – CH2M

02.4629.07.03 LT_Tollway_MN_4629-ItascaCostParticipationTrans_05032016



April 6, 2016

Jeff Pruyn
Mayor
Village of Itasca
550 W. Irving Park Road
Itasca, IL 60143-1795

Attention: Evan Teich

Re: Illinois Tollway Contract I-13-4629, Illinois Route 390 from Park Boulevard to Arlington Heights Road
Final Bid Cost Participation Transmittal

Dear Mr. Teich,

The Illinois Tollway (Tollway) opened the bids for above referenced project (Contract I-13-4629) on May 12, 2015 and the contract was awarded on May 28, 2015. The contract includes the Village of Itasca (Village) requested improvements that require cost participation. Enclosed are the final quantities and bid prices for the requested elements for the Village's review and concurrence.

The requested enhancements include bicycle and pedestrian accommodations, special formliners, decorative lighting, watermain installation, and black access control fencing. The bicycle and pedestrian accommodations include a sidewalk along Clover Ridge Lane from Millers Crossing to the south frontage road intersection and pedestrian ramps at all signalized and non-signalized intersections. The special formliners include a leaf pattern on the noisewall located along the south side of Illinois Route 390 and special signage ("Village of Itasca") on the north parapet of the westbound Illinois Route 390 Bridge at Hamilton Lakes Drive and on the north parapet of the westbound Illinois Route 390 Bridge and the south parapet of the eastbound Illinois Route 390 Bridge at Arlington Heights Road. Other enhancement responsibilities include decorative lighting along the south side of the south frontage road between Hamilton Lakes Drive and Arlington Heights Road, new watermain installation along Hamilton Lakes Drive and Parkside Avenue, and black access control fencing within local driver viewsheds.

The final as bid costs for the Village's requested improvements included as part of this contract is \$216,323.00 for construction, \$10,816.15 (5% of construction costs) for preliminary and design engineering and \$21,632.30 (10% of construction costs) for construction engineering for a total cost of \$248,771.45. The Village's cost participation for the decorative lighting is limited to the incremental difference between the cost to install Illinois Department of Transportation (IDOT) standard lighting along the frontage road and the upgraded lighting requested by the Village. Similarly, the Village's cost participation for the black access control fencing is limited to the incremental cost difference between the Illinois Tollway's standard bridge fencing and the requested black fencing.

ILLINOIS TOLLWAY

2700 Ogden Avenue | Downers Grove, IL 60515 | p. 630.241.6800 | TTY 630.241.6988
www.illinoistollway.com

The terms of the requested improvements are included in the draft Intergovernmental Agreement (IGA) between the Tollway, the Village, IDOT, DuPage County, and the Township of Addison. Construction of the requested improvements is subject to the execution of the IGA and subsequent approval by the Illinois Tollway Board of Directors.

As part of the contract, the Village has conveyed Parcel EO-1B-12-905 required for the contract improvements to the Tollway. The approved market value for this parcel (\$47,000) will be used to offset the cost responsibilities associated with the Village's requested improvements.

Pending execution of the IGA, the Illinois Tollway respectfully requests that the Village concur with the as bid costs described above, as well as confirming the continued request for the associated items. At the end of this letter is an area the Village can indicate concurrence. Please confirm concurrence by returning an original signed copy of this letter in the enclosed self-addressed envelope.

With construction already underway, we would appreciate receiving your response by April 22, 2016. If you have any questions or need further information, please contact the Illinois Tollway's Senior Project Engineer, Manar Nashif, at (630) 241-6800 ext. 3841 or via email at mnashif@getipass.com. We appreciate your cooperation and look forward to continuing to work with you as we move forward with the project.

Sincerely,



Paul D. Kovacs, P.E.
Chief Engineer

PDK/mon

Enclosure: Final Bid Cost Participation Back-up Documentation

cc: Rocco Zuccherro, Manar Nashif, Larry Hatton

File: 02.4629.07.03
LT_Tollway_PDK_4629-ItascaCostParticipationTrans_04062016

Concur with Village of Itasca cost participation and requested items for Contract I-13-4629

_____ YES

_____ NO

Name: _____

Signature: _____

Title: _____

Date: _____

Comments:

Elgin O'Hare Western Access
 Final Bid Cost Estimate for the Village of Itasca Requested Improvements as part of Contract 4629

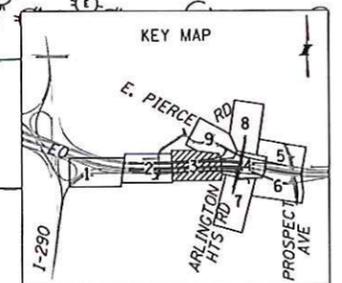
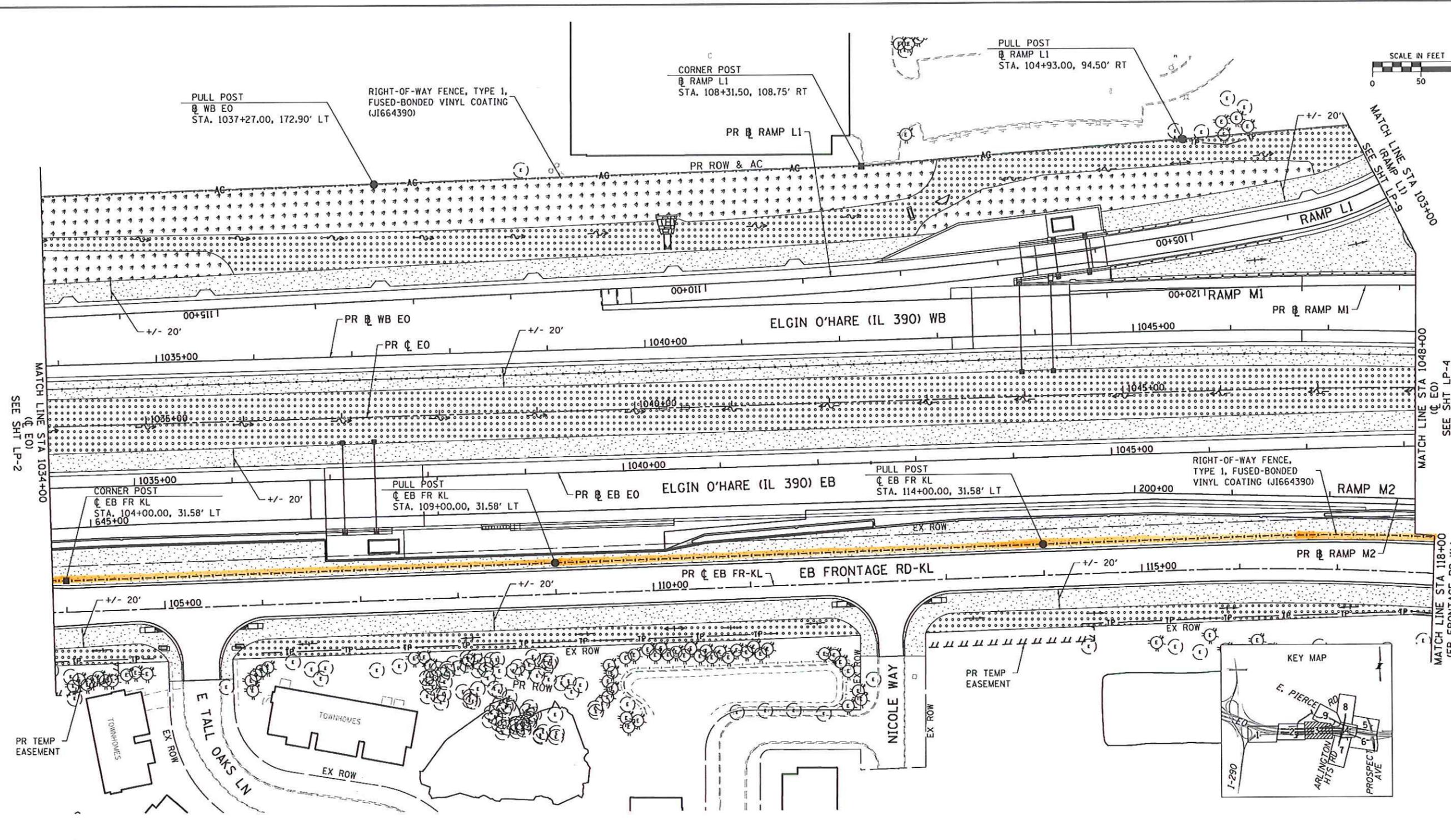
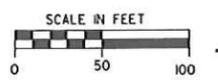
VILLAGE OF ITASCA COST RESPONSIBILITIES (4629)

	STANDARD COST						UPGRADE COST										
	Item	Description	Unit	Quantity	Unit Price	Cost	Item	Description	Unit	Quantity	Unit Price	Construction Cost	Unit Cost Differential	Village Construction Cost	Village Design Eng (5%)	Village Const Eng (10%)	Total Village Cost Participation
Bicycle/Pedestrian Accomodations	n/a	n/a	n/a	n/a	n/a	n/a	31101200	SUBBASE GRANULAR MATERIAL, TYPE B, 4"	SQ YD	321	\$ 6.70	\$ 2,150.70	n/a	\$ 2,150.70	\$ 107.54	\$ 215.07	\$ 2,473.31
							42400200	PORTLAND CEMENT CONCRETE SIDEWALK 5"	SQ FT	2,871	\$ 5.75	\$ 16,505.38	n/a	\$ 16,505.38	\$ 825.27	\$ 1,650.54	\$ 18,981.18
							42400800	DETECTABLE WARNINGS	SQ FT	192	\$ 32.00	\$ 6,144.00	n/a	\$ 6,144.00	\$ 307.20	\$ 614.40	\$ 7,065.60
TOTAL ADD'L COST ESTIMATE FOR BICYCLE AND PEDESTRIAN ACCOMODATIONS													\$ 24,801.00	\$ 1,240.05	\$ 2,480.10	\$ 28,521.15	
Leaf Formliner (Noise Walls)	n/a	n/a	n/a	n/a	n/a	n/a	JT599036	ARCHITECTURAL FORM LINER LEAF	SQ FT	1,100	\$ 10.00	\$ 11,000.00	n/a	\$ 11,000.00	\$ 550.00	\$ 1,100.00	\$ 12,650.00
TOTAL ADD'L COST ESTIMATE FOR LEAF PATTERN ON NOISE WALLS													\$ 11,000.00	\$ 550.00	\$ 1,100.00	\$ 12,650.00	
Special Formliner Signage	n/a	n/a	n/a	n/a	n/a	n/a	J1599021	FORM LINER TEXTURED SURFACE, LOCATION 1	EACH	1	\$ 2,000.00	\$ 2,000.00	n/a	\$ 2,000.00	\$ 100.00	\$ 200.00	\$ 2,300.00
							J1599022	FORM LINER TEXTURED SURFACE, LOCATION 2	EACH	1	\$ 2,000.00	\$ 2,000.00	n/a	\$ 2,000.00	\$ 100.00	\$ 200.00	\$ 2,300.00
							J1599023	FORM LINER TEXTURED SURFACE, LOCATION 3	EACH	1	\$ 2,000.00	\$ 2,000.00	n/a	\$ 2,000.00	\$ 100.00	\$ 200.00	\$ 2,300.00
TOTAL ADD'L COST ESTIMATE FOR SPECIAL FORMLINER SIGNAGE													\$ 6,000.00	\$ 300.00	\$ 600.00	\$ 6,900.00	
Decorative Lighting	81028240	UNDERGROUND CONDUIT, GALVANIZED STEEL, 4" DIA.	FOOT	350	\$35.70	\$ 12,495.00	81028240	UNDERGROUND CONDUIT, GALVANIZED STEEL, 4" DIA.	FOOT	350	\$ 35.70	\$ 12,495.00	\$ -	\$ -	\$ -	\$ -	\$ -
	81028320	UNDERGROUND CONDUIT, PVC, 1" DIA.	FOOT	540	\$3.80	\$ 2,052.00	81028320	UNDERGROUND CONDUIT, PVC, 1" DIA.	FOOT	540	\$ 3.80	\$ 2,052.00	\$ -	\$ -	\$ -	\$ -	\$ -
	81603081	UNIT DUCT, 600V, 3-1C NO.2, 1/C NO.4 GROUND, (XLP-TYPE USE), 1 1/2" DIA. POLYETHYLENE	FOOT	3250	\$19.90	\$ 64,675.00	81603090	UNIT DUCT, 600V, 3-1C NO.4, 1/C NO.6 GROUND, (XLP-TYPE USE), 1 1/4" DIA. POLYETHYLENE	FOOT	3,250	\$ 8.40	\$ 27,300.00	\$ (11.50)	\$ (37,375.00)	\$ (1,868.75)	\$ (3,737.50)	\$ (42,981.25)
	82102400	LUMINAIRE, SODIUM VAPOR, HORIZONTAL MOUNT, 400 WATT	EACH	12	\$560.30	\$ 6,723.60	X8250500	LIGHTING UNIT COMPLETE, SPECIAL	EACH	30	\$ 3,505.80	\$ 105,174.00	n/a	\$ 43,477.20	\$ 2,173.86	\$ 4,347.72	\$ 49,998.78
	83050825	LIGHT POLE, ALUMINUM, 47.5 FT. M.H., 15 FT. DAVIT ARM	EACH	12	\$2,682.40	\$ 32,188.80											
	83600365	LIGHT POLE FOUNDATION, METAL, 15" BOLT CIRCLE, 10" X 8'	EACH	12	\$1,350.00	\$ 16,200.00											
	83800205	BREAKAWAY DEVICE, TRANSFORMER BASE, 15 INCH BOLT CIRCLE	EACH	12	\$427.00	\$ 5,124.00											
	Z0033020	LUMINAIRE SAFETY CABLE ASSEMBLY	EACH	12	\$121.70	\$ 1,460.40											
Total Cost of IDOT Lighting						\$ 140,918.80	Total Construction Cost of Upgraded Lighting						\$ 147,021.00				
TOTAL ADD'L COST ESTIMATE FOR LIGHTING													\$ 6,103.00	\$ 305.15	\$ 610.30	\$ 7,018.45	
Hamilton Lakes Drive Water Main	n/a	n/a	n/a	n/a	n/a	n/a	20800150	TRENCH BACKFILL	CU YD	158	\$ 37.30	\$ 5,893.40	n/a	\$ 5,893.40	\$ 294.67	\$ 589.34	\$ 6,777.41
							56103000	DUCTILE IRON WATER MAIN, 6"	FOOT	19	\$ 92.80	\$ 1,763.20	n/a	\$ 1,763.20	\$ 88.16	\$ 176.32	\$ 2,027.68
							56103300	DUCTILE IRON WATER MAIN, 12"	FOOT	479	\$ 109.30	\$ 52,354.70	n/a	\$ 52,354.70	\$ 2,617.74	\$ 5,235.47	\$ 60,207.91
							56105200	WATER VALVES, 12"	EACH	1	\$ 2,160.00	\$ 2,160.00	n/a	\$ 2,160.00	\$ 108.00	\$ 216.00	\$ 2,484.00
							56400600	FIRE HYDRANTS	EACH	1	\$ 4,191.30	\$ 4,191.30	n/a	\$ 4,191.30	\$ 209.57	\$ 419.13	\$ 4,820.00
							60248900	VALVE VAULTS, TYPE A, 5'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	1	\$ 2,665.10	\$ 2,665.10	n/a	\$ 2,665.10	\$ 133.26	\$ 266.51	\$ 3,064.87
							X5610748	WATER MAIN LINE STOP, 8"	EACH	2	\$ 5,186.25	\$ 10,372.50	n/a	\$ 10,372.50	\$ 518.63	\$ 1,037.25	\$ 11,928.38
							X5630708	CONNECTION TO EXISTING WATER MAIN 8"	EACH	3	\$ 2,711.65	\$ 8,134.95	n/a	\$ 8,134.95	\$ 406.75	\$ 813.50	\$ 9,355.19
X5630712	CONNECTION TO EXISTING WATER MAIN 12"	EACH	1	\$ 2,696.90	\$ 2,696.90	n/a	\$ 2,696.90	\$ 134.85	\$ 269.69	\$ 3,101.44							
TOTAL ADD'L COST ESTIMATE FOR HAMILTON LAKES DRIVE WATER MAIN													\$ 90,233.00	\$ 4,511.65	\$ 9,023.30	\$ 103,767.95	

Elgin O'Hare Western Access
 Final Bid Cost Estimate for the Village of Itasca Requested Improvements as part of Contract 4629

VILLAGE OF ITASCA COST RESPONSIBILITIES (4629)

	STANDARD COST						UPGRADE COST										
	Item	Description	Unit	Quantity	Unit Price	Cost	Item	Description	Unit	Quantity	Unit Price	Construction Cost	Unit Cost Differential	Village Construction Cost	Village Design Eng (5%)	Village Const Eng (10%)	Total Village Cost Participation
Parkside Avenue Water Main	n/a	n/a	n/a	n/a	n/a	n/a	20800150	TRENCH BACKFILL	CU YD	14.3	\$ 37.30	\$ 533.39	n/a	\$ 533.39	\$ 26.67	\$ 53.34	\$ 613.40
							56103000	DUCTILE IRON WATER MAIN, 6"	FOOT	5	\$ 92.80	\$ 464.00	n/a	\$ 464.00	\$ 23.20	\$ 46.40	\$ 533.60
							56103100	DUCTILE IRON WATER MAIN, 8"	FOOT	527	\$ 78.15	\$ 41,185.05	n/a	\$ 41,185.05	\$ 2,059.25	\$ 4,118.51	\$ 47,362.81
							56105000	WATER VALVES, 8"	EACH	1	\$ 1,105.00	\$ 1,105.00	n/a	\$ 1,105.00	\$ 55.25	\$ 110.50	\$ 1,270.75
							56400600	FIRE HYDRANTS	EACH	1	\$ 4,191.30	\$ 4,191.30	n/a	\$ 4,191.30	\$ 209.57	\$ 419.13	\$ 4,820.00
							60248900	VALVE VAULTS, TYPE A, 5'-DIAMETER, TYPE 1 FRAME, CLOSED LID	EACH	1	\$ 2,665.10	\$ 2,665.10	n/a	\$ 2,665.10	\$ 133.26	\$ 266.51	\$ 3,064.87
							X5610748	WATER MAIN LINE STOP, 8"	EACH	1	\$ 5,186.25	\$ 5,186.25	n/a	\$ 5,186.25	\$ 259.31	\$ 518.63	\$ 5,964.19
TOTAL ADD'L COST ESTIMATE FOR PARKSIDE AVENUE WATER MAIN													\$ 55,331.00	\$ 2,766.55	\$ 5,533.10	\$ 63,630.65	
ROW Fencing	J1664305	RIGHT-OR-WAY FENCE, TYPE 1, 6'	FOOT	6443	\$ 14.53	\$ 93,616.79	J1664390	RIGHT-OF-WAY FENCE, TYPE 1, FUSED-BONDED VINYL COATING	FOOT	6,443	\$ 17.84	\$ 114,943.12	\$33.31	\$ 21,326.33	\$ 1,066.32	\$ 2,132.63	\$ 24,525.28
	J1664330	SINGLE VEHICLE GATE, RIGHT-OF-WAY FENCE, TYPE 1	EACH	1	\$ 1,500.00	\$ 1,500.00	J1664398	SINGLE VEHICLE GATE, RIGHT-OF-WAY FENCE, TYPE 1, FUSED-BONDED VINYL COATING	EACH	1	\$ 1,690.00	\$ 1,690.00	\$190.00	\$ 190.00	\$ 9.50	\$ 19.00	\$ 218.50
	J1664335	DOUBLE VEHICLE GATE, RIGHT-OF-WAY FENCE, TYPE 1	EACH	3	\$ 1,500.00	\$ 4,500.00	J1664399	DOUBLE VEHICLE GATE, RIGHT-OF-WAY FENCE, TYPE 1, FUSED-BONDED VINYL COATING	EACH	3	\$ 1,946.00	\$ 5,838.00	\$446.00	\$ 1,338.00	\$ 66.90	\$ 133.80	\$ 1,538.70
TOTAL ADD'L COST ESTIMATE FOR ROW FENCING													\$ 22,855.00	\$ 1,142.75	\$ 2,285.50	\$ 26,283.25	
TOTAL VILLAGE RESPONSIBILITY													\$ 216,323.00	\$ 10,816.15	\$ 21,632.30	\$ 248,771.45	



LANDSCAPING LEGEND

- SEEDING, CLASS 2E SALT TOLERANT ROADSIDE MIX (MODIFIED) AND EROSION CONTROL BLANKET (J1251010)
- SEEDING, TALL FESCUE MIX AND EROSION CONTROL BLANKET (J1251010)
- GRASS-FORB MIX
- PROPOSED TREE
- PROPOSED SHRUBS
- SEEDING, CLASS 4F NATIVE GRASS, LOW PROFILE MIX (MODIFIED) AND EROSION CONTROL BLANKET (J1251010)
- TEMPORARY SEEDING
- BIOSWALE PLUGS
- PROPOSED EVERGREEN TREE
- PROPOSED TREE PROTECTION FENCING
- SODDING, SALT TOLERANT
- EXISTING SHADE TREE TO REMAIN
- EXISTING EVERGREEN TREE TO REMAIN
- BY OTHERS (TYPICAL)

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 CHECKED BY: JE DATE: 03/23/15

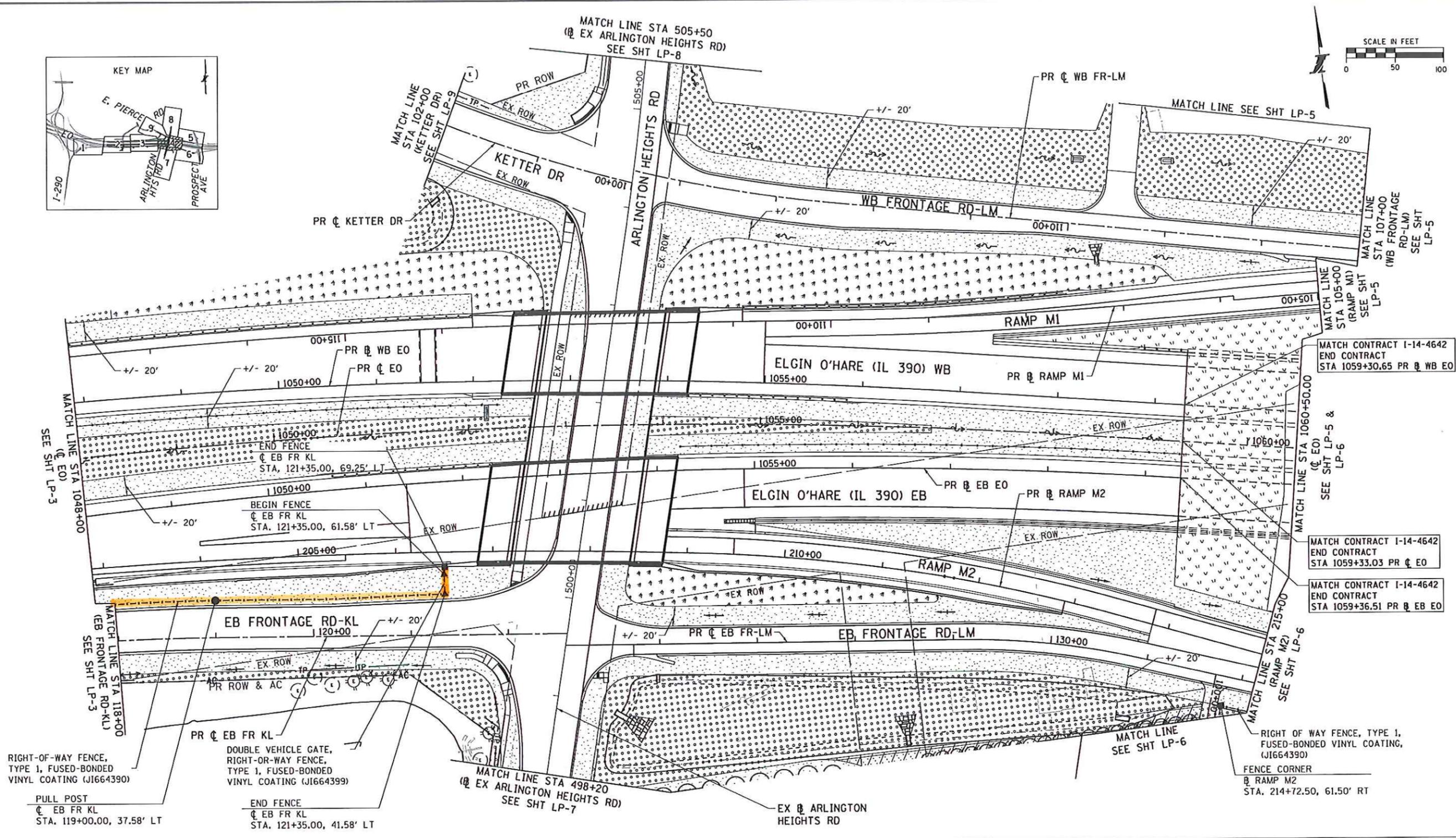
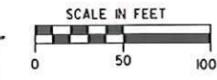
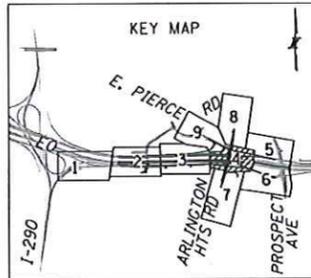
CH2MHILL
 8735 West Higgins Road, Suite 400
 Chicago, IL 60631 (773) 693-3800

THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY
 2700 OGDEN AVENUE
 DOWNERS GROVE, ILLINOIS 60515

REVISIONS	
NO.	DESCRIPTION

CONTRACT NO. I-13-4629
 LANDSCAPING AND FENCING PLANS

SHEET NO. LP-3
 DRAWING NO. 419 OF 1249



RIGHT-OF-WAY FENCE, TYPE 1, FUSED-BONDED VINYL COATING (J1664390)

PULL POST
EB FR KL
STA. 119+00.00, 37.58' LT

DOUBLE VEHICLE GATE, RIGHT-OR-WAY FENCE, TYPE 1, FUSED-BONDED VINYL COATING (J1664399)

END FENCE
EB FR KL
STA. 121+35.00, 41.58' LT

MATCH LINE STA 498+20
EX ARLINGTON HEIGHTS RD
SEE SHT LP-7

RIGHT OF WAY FENCE, TYPE 1, FUSED-BONDED VINYL COATING, (J1664390)

FENCE CORNER
RAMP M2
STA. 214+72.50, 61.50' RT

LANDSCAPING LEGEND

- SEEDING, CLASS 2E SALT TOLERANT ROADSIDE MIX (MODIFIED) AND EROSION CONTROL BLANKET (J1251010)
- SEEDING, TALL FESCUE MIX AND EROSION CONTROL BLANKET (J1251010)
- GRASS-FORB MIX
- PROPOSED TREE
- PROPOSED SHRUBS
- SEEDING, CLASS 4F NATIVE GRASS, LOW PROFILE MIX (MODIFIED) AND EROSION CONTROL BLANKET (J1251010)
- TEMPORARY SEEDING
- BIOSWALE PLUGS
- SODDING, SALT TOLERANT
- PROPOSED EVERGREEN TREE
- EXISTING SHADE TREE TO REMAIN
- EXISTING EVERGREEN TREE TO REMAIN
- PROPOSED TREE PROTECTION FENCING
- BY OTHERS (TYPICAL)

DRAWN BY... RS... DATE . 03/23/15
 CHECKED BY... JE... DATE . 03/23/15

CH2MHILL
 8735 West Higgins Road, Suite 400
 Chicago, IL 60631 (773) 693-3800

THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY
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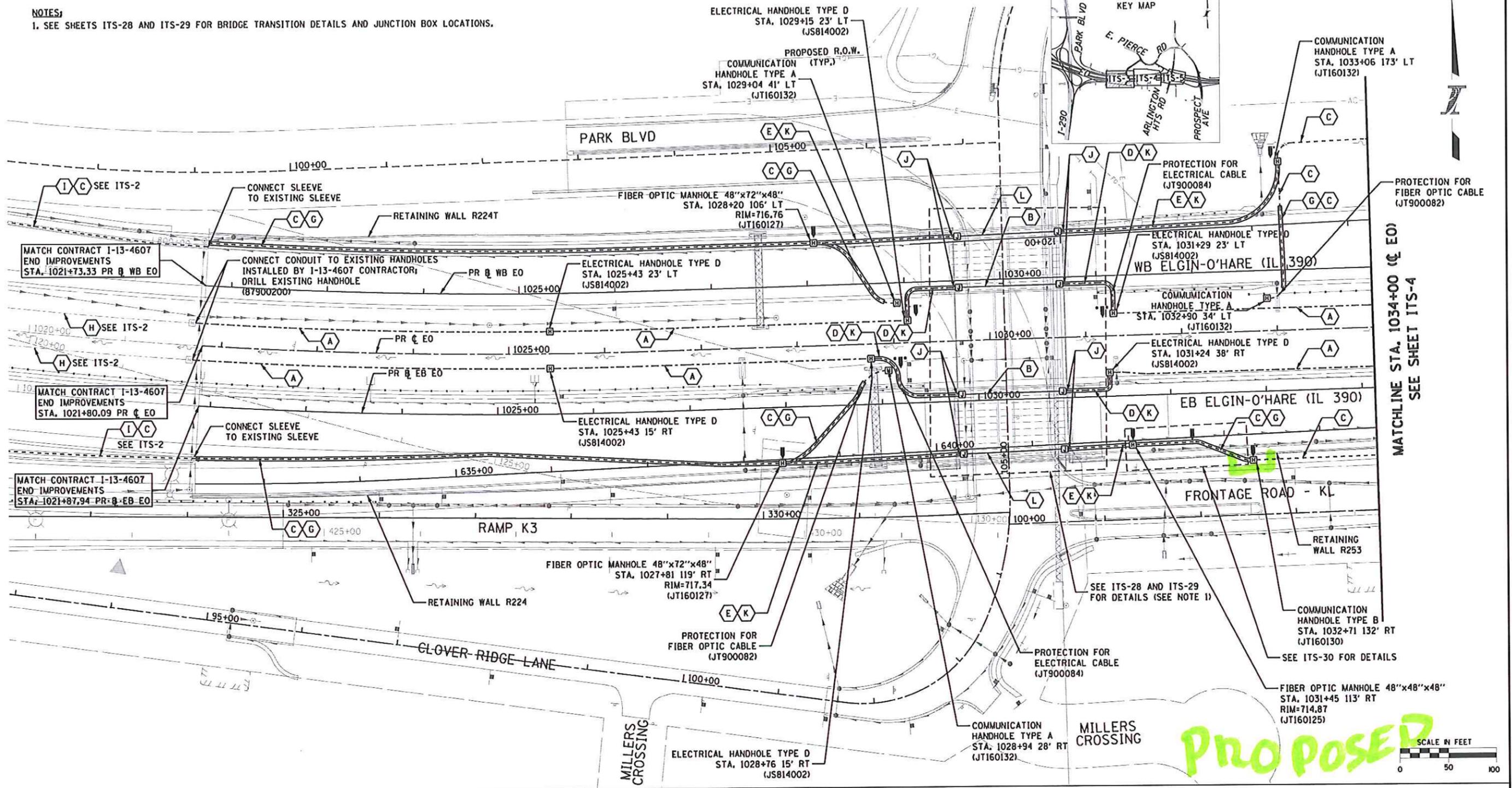
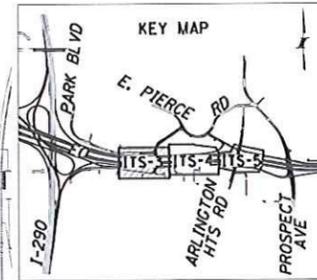
REVISIONS		
NO.	DATE	DESCRIPTION

CONTRACT NO. I-13-4629
 LANDSCAPING AND FENCING PLANS

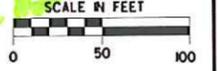
SHEET NO. LP-4
 DRAWING NO. 420 OF 1249

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NOTES:
 1. SEE SHEETS ITS-28 AND ITS-29 FOR BRIDGE TRANSITION DETAILS AND JUNCTION BOX LOCATIONS.



PROPOSED



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 PLOT DATE = 2/24/2015
 FILE NAME = c:\p\work\13-4629\13-4629.dwg
 PLOT SCALE = 1/8" = 1'-0"

- (A) (3) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, 2" DIA. (ELECTRICAL) JS810875
- (B) (3) UNDERGROUND COILABLE NONMETALLIC CONDUIT, 1 1/4" DIA. IN CONDUIT ATTACHED TO STRUCTURE, 5" DIA., PVC COATED GALVANIZED STEEL (ELECTRICAL) JS810873, JS811110
- (C) (6) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, SDR 11, 1 1/2" DIA. (COMMUNICATION) JT810874
- (D) (3) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, 1 1/4" DIA. (ELECTRICAL) JS810873
- (E) (2) UNDERGROUND COILABLE NONMETALLIC CONDUIT, SDR 11, 1" DIA. AND (4) UNDERGROUND COILABLE NONMETALLIC CONDUIT, SDR 11, 1 1/4" DIA. (COMMUNICATION) JT810872, JT810873
- (F) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, 6" DIA. (SLEEVE) JS810881

- (G) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, 8" DIA. (SLEEVE) JS810883
- (H) EXISTING ELECTRICAL CONDUITS (BY OTHERS)
- (I) EXISTING COMMUNICATION CONDUITS (BY OTHERS)
- (J) (1) CONDUIT ATTACHED TO STRUCTURE, 5" DIA., GALVANIZED STEEL 8110110
- (K) (1) UNDERGROUND CONDUIT, GALVANIZED STEEL, 5" DIA. JS810825
- (L) (2) UNDERGROUND COILABLE NONMETALLIC CONDUIT, SDR 11, 1" DIA. AND (4) UNDERGROUND COILABLE NONMETALLIC CONDUIT, SDR 11, 1 1/4" DIA. IN CONDUIT FOR SINGLE MODE FIBER OPTIC CABLE, ATTACHED TO STRUCTURE, 8" DIA, RIGID NONMETALLIC (COMMUNICATION) JT810872, JT810873, JT160006

LEGEND:

- CONDUITS RUNS
- CONDUIT SLEEVE
- CONDUIT CALLOUT
- PROPOSED ITS EQUIPMENT (BY OTHERS)
- CABLE MARKER SIGN WITH POST FOR ELECTRICAL CABLE (JT160149)
- CABLE MARKER SIGN WITH POST FOR SINGLE MODE FIBER OPTIC CABLE (JT160152)
- CABLE MARKER SIGN FOR SINGLE MODE FIBER OPTIC CABLE (JT160150)

DRAWN BY... KES... DATE 03/23/15
 CHECKED BY... CBS... DATE 03/23/15

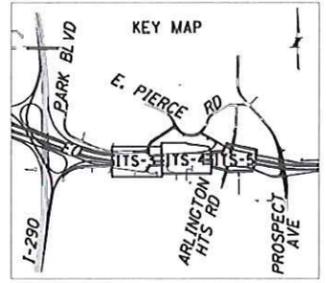
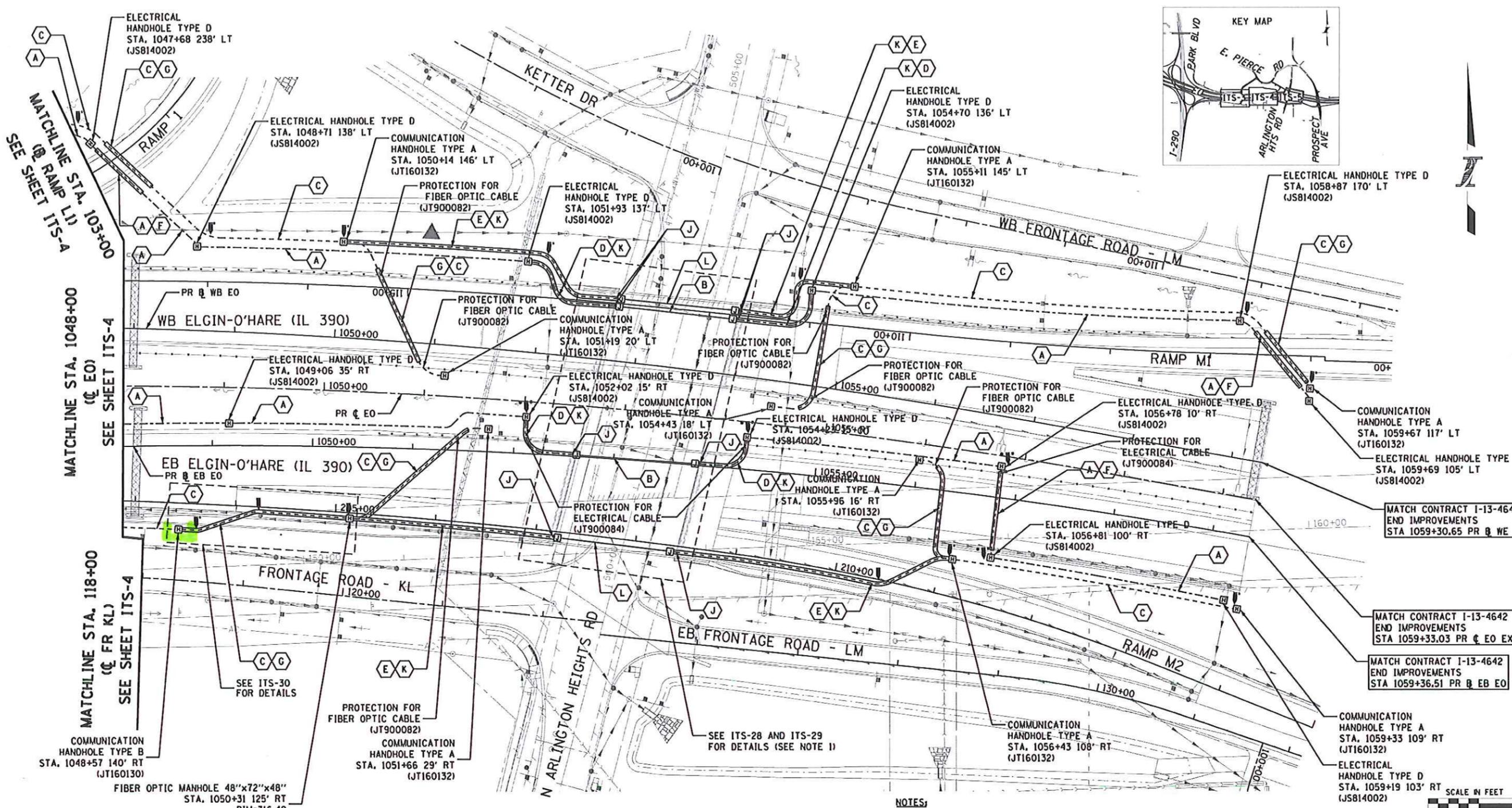
KNIGHT
 Engineers & Architects
 221 North LaSalle Street
 Suite 300
 Chicago IL 60601
 Phone: (312) 577-3300

THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY
 2700 OGDEN AVENUE
 DOWNERS GROVE, ILLINOIS 60515

REVISIONS		
NO.	DATE	DESCRIPTION

CONTRACT NO. I-13-4629
 ITS PLANS

SHEET NO.
 ITS-3
 DRAWING NO.
 660 OF 1249



MATCHLINE STA. 103+00
SEE SHEET ITS-A

MATCHLINE STA. 1048+00
(@ EO)
SEE SHEET ITS-4

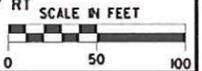
MATCHLINE STA. 118+00
(@ FR KL)
SEE SHEET ITS-4

MATCH CONTRACT I-13-4642
END IMPROVEMENTS
STA 1059+30.65 PR @ WE EO

MATCH CONTRACT I-13-4642
END IMPROVEMENTS
STA 1059+33.03 PR @ EO EXPY

MATCH CONTRACT I-13-4642
END IMPROVEMENTS
STA 1059+36.51 PR @ EB EO

NOTES:
1. SEE SHEETS ITS-28 AND ITS-29 FOR BRIDGE TRANSITION DETAILS AND JUNCTION BOX LOCATIONS.



- (A) (3) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, 2" DIA. (ELECTRICAL) JS810875
- (B) (3) UNDERGROUND COILABLE NONMETALLIC CONDUIT, 1 1/4" DIA. IN CONDUIT ATTACHED TO STRUCTURE, 5" DIA., PVC COATED GALVANIZED STEEL (ELECTRICAL) JS810873, JS811110
- (C) (6) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, SDR 11, 1 1/2" DIA. (COMMUNICATION) JT810874
- (D) (3) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, 1 1/4" DIA. (ELECTRICAL) JS810873
- (E) (2) UNDERGROUND COILABLE NONMETALLIC CONDUIT, SDR 11, 1" DIA. AND (4) UNDERGROUND COILABLE NONMETALLIC CONDUIT, SDR 11, 1 1/4" DIA. (COMMUNICATION) JT810872, JT810873
- (F) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, 6" DIA. (SLEEVE) JS810881

- (G) UNDERGROUND CONDUIT, COILABLE NONMETALLIC CONDUIT, 8" DIA. (SLEEVE) JS810883
- (H) EXISTING ELECTRICAL CONDUITS (BY OTHERS)
- (I) EXISTING COMMUNICATION CONDUITS (BY OTHERS)
- (J) (1) CONDUIT ATTACHED TO STRUCTURE, 5" DIA., GALVANIZED STEEL 8110110
- (K) (1) UNDERGROUND CONDUIT, GALVANIZED STEEL, 5" DIA. JS810825
- (L) (2) UNDERGROUND COILABLE NONMETALLIC CONDUIT, SDR 11, 1" DIA. AND (4) UNDERGROUND COILABLE NONMETALLIC CONDUIT, SDR 11, 1 1/4" DIA. IN CONDUIT FOR SINGLE MODE FIBER OPTIC CABLE, ATTACHED TO STRUCTURE, 8" DIA, RIGID NONMETALLIC (COMMUNICATION) JT810872, JT810873, JT160006

LEGEND:

- CONDUITS RUNS
- CONDUIT SLEEVE
- CONDUIT CALLOUT
- PROPOSED ITS EQUIPMENT (BY OTHERS)
- CABLE MARKER SIGN WITH POST FOR ELECTRICAL CABLE (JT160149)
- CABLE MARKER SIGN WITH POST FOR SINGLE MODE FIBER OPTIC CABLE (JT160152)
- CABLE MARKER SIGN FOR SINGLE MODE FIBER OPTIC CABLE (JT160150)

DRAWN BY... KES DATE 03/23/15
CHECKED BY... CBS DATE 03/23/15

KNIGHT
Engineers & Architects
221 North LaSalle Street
Suite 300
Chicago IL 60601
Phone: (312) 577-3300

THE ILLINOIS STATE TOLL HIGHWAY AUTHORITY
2700 OGDEN AVENUE
DOWNERS GROVE, ILLINOIS 60515

REVISIONS	
NO.	DESCRIPTION

CONTRACT NO. I-13-4629
ITS PLANS

SHEET NO.
ITS-5
DRAWING NO.
662 OF 1249

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 PLOT DATE: 2/24/2015
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 PLOT SCALE: 1/8"=1'-0"
 PLOT DATE: 2/24/2015



MEMO

To: Village of Itasca Mayor and Village Board

From: Scott Marquardt, Project Manager

Subject: Illinois Route 390 Overall Access Control Fencing Exhibit
Request for Direction regarding Future Fencing Enhancements

Date: June 21, 2016

Mayor Pruyn and Village Board,

BACKGROUND

As you are well aware, the Tollway has previously provided opportunities for the Village to include various additional improvements within their construction contracts, for items desired by the Village such as aesthetic enhancements. The enhancements which are the subject of this memo are the overall access control fencing locations throughout the Illinois Route 390 project corridor, from I-290 to the eastern Village limits at Salt Creek.

The Tollway recently provided the attached overall access control fencing exhibit, which shows not only access control locations which have been previously approved, but also future locations where access control fencing is proposed to be located. The additional access control fencing construction will be included as part of a future ITS (Intelligent Transportation System) contract. Plans for that ITS contract are currently in the early design stage and have not yet been submitted for review.

HISTORY

The Village has previously provided direction and funding for the installation of upgraded (black powder coated) access control fencing at various locations along Illinois Route 390, as part of several separate Tollway construction contracts. One of those contracts was the subject of discussion of an agenda item discussed earlier this evening. The locations approved to date are shown in green color on the attached exhibit

The Village has also previously provided direction where the upgraded access control fencing was not desired, and at those locations the standard galvanized fencing will be placed. The locations of standard fencing approved to date are shown in purple color on the attached exhibit.

This exhibit also shows location of a wooden sight screen fencing which will be constructed and paid for by the Illinois Tollway. Adjacent to this sight screen fencing is a standard galvanized access control fence, on the Tollway side, so only the wooden sight screen fence is visible from residents rear yards. The locations of the wooden sight screen fence are in orange color on the attached exhibit.

REQUESTED ACTION

The Tollway is requesting direction from the Village regarding their desires for additional enhanced access control fencing, so that this information can be included in the final design plans for the ITS contract currently in the early design stages.

ANALYSIS

The attached exhibit shows six additional locations where access control fencing is proposed to be placed. The table below lists all six locations, and includes proposed fencing length, estimated cost, and a recommendation as to whether the upgraded fencing is a desirable enhancement, taking into account the specific locations, visibility, and previously provided directions.

LOCATION NUMBER	LOCATION DESCRIPTION	LENGTH	ESTIMATED EXPENSE @	RECOMMENDATION
1	Eastbound Ramp G1 west of Hamilton Lakes Drive	630 feet	\$4,400	I suggest that this fence is not even necessary, as it is located between a ramp and the Tollway mainline which is located on a 20' high retaining wall. If, however the fence is determined by the Tollway/IDOT to be necessary and is placed, upgrade is recommended due to visibility at a key entrance location to the Village
2	Eastbound Ketter Drive between Ramp L1 and Arlington Heights Road	470 feet	\$3,300	The access control fence to the west is already being upgraded, and Hamilton Partners has expressed desire for the fences adjacent to the office park to be upgraded. We were able to negotiate permission for a Village/Hamilton Lakes office park entry monument to be located at this location, so to complement that monument sign this fence should be considered for an upgrade.
3	Westbound Frontage Road LM, between Arlington Heights Road and Ramp M1 entrance	710 feet	\$5,000	This fence is located between the frontage road and mainline Illinois Route 390, at a key entrance location to the Village, and near the future 10 acre redevelopment site, so for visibility and enhancement this fence should be considered for an upgrade.
4	Westbound Frontage Road LM, between Prospect Avenue and Ramp M1 entrance	670 feet	\$4,700	This fence is located between the frontage road and mainline Illinois Route 390, at a key entrance location to the Village, and near the future 10 acre redevelopment site, so for visibility and enhancement this should be considered for an upgrade.
5	Eastbound Frontage	950 feet	\$6,700	This fence is located between

	Road LM, between Ramp M2 exit and Prospect Avenue			the frontage road and mainline Illinois Route 390, at a key entrance location to the Village. The Village has previously provided direction that the access control fence south of the frontage road at this location is to be upgraded, so for consistency and uniformity this fence should also be considered for an upgrade.
6	Eastbound Frontage Road LM east of Arlington Heights Road adjacent to Ramp M2	500 feet	\$3,500	This fence is located between the frontage road and mainline Illinois Route 390, just to the east of Arlington Heights Road. Due to visibility from Arlington Heights Road and for uniformity with other upgraded fences, this fence should also be considered for an upgrade.
		3,930 feet	\$27,600	

@ Upgraded fencing costs on various Tollway contracts have ranged from \$0.50 / LF to \$7.76/LF for comparable work. An average upgrade expense price of \$7.00 /LF, including design and construction engineering, has been used to calculate the estimated expense shown in the table above.

FUNDING

All land acquisition credits have previously been committed to various enhancements contained within prior Tollway construction contracts.

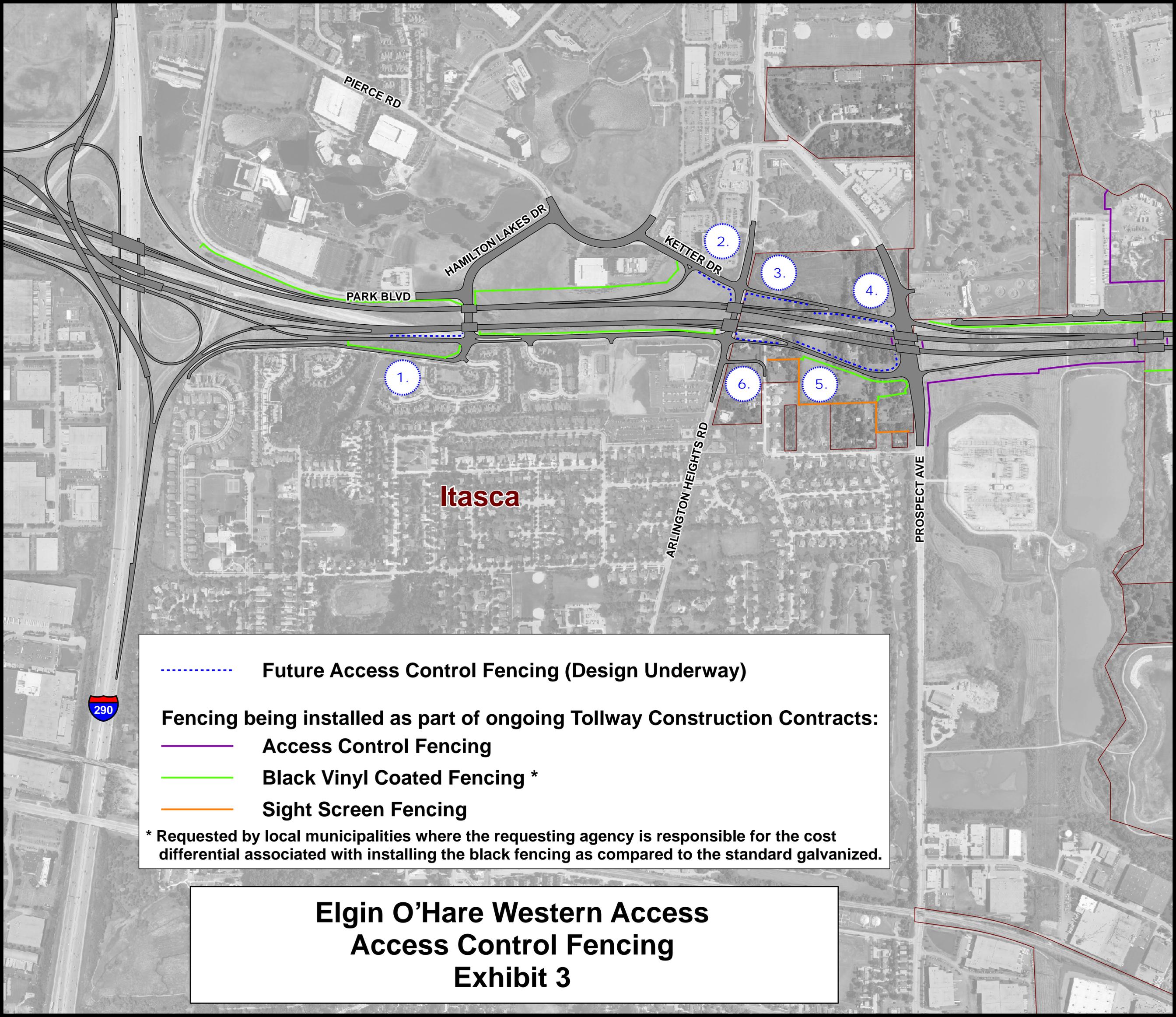
Therefore, if the Village provides direction for additional upgraded access control fencing to be installed as part of the future ITS contract, they will therefore need to allocate funding in a future fiscal year for the associated expenses. The timing and terms of any necessary payments would be defined in an IGA which will be associated with the future ITS contract. No expenses would come from the FY 16/17 budget; they would likely be associated with the FY 17/18 and/or FY 18/19 fiscal year budgets.

In the attached overall expenditure thermometer, I have included estimated expenses if all locations shown and described above were to be upgraded to black powder coated fencing.

SUMMARY AND RECOMMENDATION

- **I request that the Village Board provide direction as to which specific locations, if any, where upgraded access control fencing is desired. I will convey those directions to the Tollway design engineers and the design engineering plans will then be reviewed accordingly. If there are any significant differences from the location shown when the design plans are submitted, that information will be brought back to the Village Board for discussion.**

I will be in attendance at the June 21, 2016 Committee of the Whole meeting and will be available to answer questions.



PIERCE RD

HAMILTON LAKES DR

KETTER DR

PARK BLVD

ARLINGTON HEIGHTS RD

PROSPECT AVE

Itasca

290

- Future Access Control Fencing (Design Underway)
- Fencing being installed as part of ongoing Tollway Construction Contracts:**
- Access Control Fencing
- Black Vinyl Coated Fencing *
- Sight Screen Fencing

* Requested by local municipalities where the requesting agency is responsible for the cost differential associated with installing the black fencing as compared to the standard galvanized.

**Elgin O'Hare Western Access
Access Control Fencing
Exhibit 3**

Village of Itasca - Elgin O'Hare Overall Expenses Projections

Updated by: SM 06/21/2016

Date Approved	Work Item	Contract	Location	Estimated Fiscal Year Expenditure								
				PRE-FY12/13	FY 12/13	FY 13/14	FY 14/15	FY 15/16	FY 16/17	FY 17/18	FY 18/19	
FUTURE POTENTIAL ENHANCEMENTS												
	Others TBD		TBD								(\$1)	
	Village Entry monument sign	Separate Village Project	North Frontage Road near Salt Creek Bridge <i>(visible from Westbound Illinois Route 390)</i>								\$2	
	Village Entry monument sign	Separate Village Project	South Frontage Road east of Meacham Road <i>(visible from Eastbound Illinois Route 390)</i>								\$2	
8/13/2013	Village Entry monument sign	Separate Village Project	Devon Avenue Bridge, northwest corner <i>(visible from Southbound/Eastbound I-290)</i>								\$2	
	Village Entry monument sign	Separate Village Project	Nature Center south of Village Hall <i>(visible from Northbound/Westbound I-290)</i>								\$2	
	Black coated access control (AC) fence	4638 ITS	Various locations, from Ramp K3 west of Hamilton Lakes Drive, to Prospect Avenue, to complete access control fence through the project limits								\$24,000	
	Bridge underpass lighting	4638 ITS	Illinois Route 390 bridges over Prospect Avenue <i>(DuPage County accepts the construction of and maintenance of underpass lighting)</i>								\$0	
	Bridge enhancements—additional parapet stone-pattern-formliner	C11-3R	Prospect Avenue bridge								\$0	
	Bridge enhancements—additional parapet stone-pattern-formliner	C08	Arlington Heights Road bridge and Hamilton Lakes Drive bridge								\$0	
CREDITS												
	CREDIT - TBD		Others TBD								(\$1)	
	CREDIT - Tree Replacement	CXX - East of Rohlwing Road	Funding for tree replacement to comply with Tollway tree replacement policy								(\$1)	
3/1/2016	CREDIT - Hamilton Partners	C10 and C08	Hamilton Lakes Drive watermain extension reimbursement						(\$39,483)	(\$40,546)	(\$39,483)	(\$40,546)
12/16/2014	CREDIT - ROW land acquisition	C08	Parcel EO_1B_12_927 - (Arlington Heights, east side, north of Thorndale Avenue)									
12/16/2014	CREDIT - ROW land acquisition	C08	Parcel EO_1B_12_905 - (Arlington Heights Road, west side, north of Thorndale Avenue)									
7/22/2014	CREDIT - ROW land acquisition	C08	Parcel EO_1B_12_909 - (Park Boulevard near Clover Ridge subdivision)									
7/22/2014	CREDIT - ROW land acquisition	C08	Parcel EO_1B_12_912 - (IL 53 south of Wendys)									
4/15/2014	CREDIT - ROW land acquisition	C08	Parcel EO_1B_12_910 - (Park Boulevard north of Thorndale Ave.)									
ENGINEERING EXPENSES												
	Robinson - Construction Engineering Services FY 2019		Project Limits									
	Robinson - Construction Engineering Services FY 2018		Project Limits									
	Robinson - Construction Engineering Services FY 2017		Project Limits									
	Robinson - Construction Engineering Services FY 2016		Project Limits									
	Robinson - Construction Engineering Services FY 2015		Project Limits									
	Robinson - Construction Engineering Services FY 2014		Project Limits									
	Robinson - Municipal Engineering Services		Project Limits									
	HR Green - Plan Review and Coordination Services (Nov 2018 thru April 2019)	86130021.xx	Project Limits									
	HR Green - Plan Review and Coordination Services (Nov 2017 thru April 2018)	86130021.xx	Project Limits									
	HR Green - Plan Review and Coordination Services (May 2017 thru Oct 2017)	86130021.xx	Project Limits									
	HR Green - Plan Review and Coordination Services (Nov 2016 thru April 2017)	86130021.xx	Project Limits									
5/17/2016	HR Green - Plan Review and Coordination Services (May 2016 thru Oct 2016)	86130021.08	Project Limits									
11/17/2015	HR Green - Plan Review and Coordination Services (Nov 2015 thru April 2016)	86130021.07	Project Limits									
5/5/2015	HR Green - Plan Review and Coordination Services (May 2015 thru Oct 2015)	86130021.06	Project Limits									
11/4/2014	HR Green - Plan Review and Coordination Services (Nov 2014 thru April 2015)	86130021.05	Project Limits									
4/15/2014	HR Green - Plan Review and Coordination Services (May 2014 thru Oct 2014)	86130021.04	Project Limits									
11/19/2013	HR Green - Plan Review and Coordination Services (Nov 2013 thru April 2014)	86130021.03	Project Limits									
5/7/2013	HR Green - Plan Review and Coordination Services (May 2013 thru Oct 2013)	86130021.02	Project Limits									
2/28/2013	HR Green - Plan Review and Coordination Services (Jan 2013 thru April 2013)	86130021.01	Project Limits									
	Baxter and Woodman (FY 09/10 thru FY 11/12)											
	McDonough Engineering (2006 thru 2008)											
ENHANCEMENTS APPROVED TO DATE												
5/5/2015	Bridge enhancements - Village of Itasca parapet formliner	C11-3R	Prospect Avenue bridge									
5/5/2015	Sidewalk / bikepath extension	C11-3R	Prospect Avenue west side from Granville Drive to Thorndale Avenue <i>(this is being completed at Tollway expense)</i>									
5/5/2015	Illuminated cross street signs	C11-3R	Prospect Avenue/Frontage Road/ramp intersections <i>(Upgrade cost now to be paid for by DuPage County as part of corridorwide aesthetics)</i>									
2/16/2016	2040 geometric improvements	C08	Arlington Heights Road project limits - Village declined to include improvements based on analysis which showed they were not necessary									
10/28/2014	Illuminated cross street signs <i>(Upgrade cost now to be paid for by DuPage County as part of corridorwide aesthetics)</i>	C08	Hamilton Lakes Drive/Exit Ramp/South Frontage Road intersection, and Arlington Heights Road/Frontage Road/Ketter Drive/Entrance ramp intersections									
10/28/2014	Roadway reconstruction	C08	Parkside Avenue south of proposed Tollway limits to extend improvements to existing									
5/5/2015	Black coated access control (AC) fence	C08	North side of Elgin O'Hare, adjacent to Hamilton Lakes, Hamilton Lakes Drive to Ketter Drive, south side of Elgin O'Hare, Clover Ridge Lane to Arlington Heights Road, detention pond east of Arlington Heights Road									
10/28/2014	Watermain extension to eliminate dead-end watermain	C08	Parkside Avenue connection to Arlington Heights Road along new roadway									
10/28/2014	Watermain Extension <i>(Per agreement 2324-200 dated 11/2/1999, this is developer responsibility)</i>	C08	From Clover Ridge Lane across Thorndale Avenue and along Hamilton Lakes Drive to cross EOWA corridor.									
10/28/2014	Roadway lighting	C08	South side of EB Frontage Road, from Hamilton Lakes Drive to Arlington Heights Road									
10/28/2014	Bridge enhancements - Village of Itasca parapet formliner	C08	Hamilton Lakes Drive bridge - north face only									
10/28/2014	Bridge enhancements - Village of Itasca parapet formliner	C08	Arlington Heights Road bridge									
10/28/2014	Noisewall Leaf Pattern Aesthetic Upgrades	C08	South side of Illinois Route 390 from Willow Lane to Nicole Way									
10/28/2014	Sidewalk and detectable warnings at roadway intersections	C08	Throughout project limits, and along Clover Ridge Lane from Millers Crossing to South Frontage Road									
8/13/2013	10' bikepath - Hamilton Lakes Drive	C10	Hamilton Lakes Drive - west side existing path connection to Park Blvd West sidewalk									
8/13/2013	Illuminated Cross Street signs	C10	Hamilton Lakes Drive/Park Blvd/Pierce Road/Ketter Drive intersections									
8/13/2013	Watermain Extension <i>(Per agreement 2324-200 dated 11/2/1999, this is developer responsibility)</i>	C10	Park Blvd/Thorndale Avenue north along Hamilton Lakes Drive to cross EOWA corridor.									
8/13/2013	Bridge Fencing and parapet Upgrades	C09	Devon Avenue Bridge (one side), shared with Elk Grove Village									
4/16/2014	Black coated access control (AC) fence	C07	North side of Elgin O'Hare, adjacent to Hamilton Lakes, west of Hamilton Lakes Drive									
6/26/2013	Sanitary Sewer Lining (CIPP)	C07	18" North Side interceptor sewer across I-290									
10/8/2013	Noisewall leaf pattern aesthetic upgrades	C06-I	Retaining walls and noisewalls between I-290 and Hamilton Lakes Drive									
6/4/2013	Noisewall Leaf Pattern Aesthetic Upgrades	C03	Park Boulevard, north end of Clover Ridge subdivision									
6/24/2014	5' PCC Sidewalk (additional)	C01	IL RT 53, west side, from Norwood Avenue to Elgin O'Hare bridge									
4/2/2013	Bridge fencing vinyl coating and painting	C01	IL RT 53 bridge over EOWA, east and west sides									
4/02/2013 & 3/12/2013	5' PCC Sidewalk	C01	IL RT 53, east and west sides, from W Thorndale Avenue to Norwood Avenue									
3/12/2013	5' PCC Sidewalk	C01	Norwood Avenue, east side, from existing sidewalk to IL RT 53									
Approved to Date Construction Enhancements Cost Sub-Total												
Future Construction Enhancement Costs Sub-Total												
Tollway Administration Expenses (5% design eng, 0% mobilization, and 10% construction eng) Sub-Total												
Construction Stage Engineering Expenses Sub-Total												
Design Engineering Expenses Sub-Total												
Preliminary Engineering Expenses Sub-total												
Total Project Expenses Sub-Total												
Other Credits Sub-Total												
Tollway Land Acquisition Credits Sub-Total												
Credits Sub-Total												
Annual Expenditure												
Total Estimated Expenditure												

LEGEND

- Cost figures in red text - based on engineers cost estimate
- Cost figures in black text - based on contract low bid prices
- Cost figures in blue text - based on actual expenditures
- Cells highlighted in yellow are future items not yet approved by Village Board
- Cells highlighted in green are water / sewer enterprise fund eligible expenses
- Cells highlighted in purple are potential hotel tax eligible expenses
- Cells highlighted in orange are ITEP grant expenses and revenues
- Cells highlighted in aqua are still being negotiated with the Tollway

DRAFT PREPARED
06/21/2016