

# Village of Itasca

550 W. Irving Park Rd., Itasca, Illinois 60143-2018

## Committee of the Whole Meeting Agenda February 16, 2016

(Immediately following Village Board Meeting)  
(Upstairs Board Room)

President: Jeffery J. Pruyne

Trustees: Jeff Aiani

Marty Hower

Michael J. Latoria

Ellen Leahy

Frank J. Madaras

Lucy Santorsola

Clerk: Melody J. Craven

Administrator: Evan Teich

Phone: 630.773.0835

FAX: 630.773.2505

1. Call To Order; Roll Call
2. Pledge Of Allegiance
3. Audience Participation
4. Presentation Of Committee Of The Whole Meeting Minutes Of February 2, 2016

Documents: [20160202 COW MTG MINUTES.PDF](#)

5. President's Comments
  - 5.a. Discussion And Possible Action Concerning The Creation Of An Additional Class "B" Liquor License For BGC Holdings -- Itasca LLC To Operate A Video Gaming Café In A Tenant Space Known As 923 W. Irving Park Road Located In The Itasca Park Place Shopping Center At The Northeast Corner Of Route 53 And Irving Park Road.
6. Community Development Committee
  - 6.a. Discussion And Possible Action Concerning A Request To Amend A Special Use, Variances For Signs And Height Of Accessory Structure From Itasca Country Club At 400 E. Orchard Street As Recommended By Itasca Plan Commission (PC #16-004).

Documents: [COTW MEMO- 400 E. ORCHARD- ITASCA COUNTRY CLUB- 02.16.16.PDF](#)

6.a.a. Backup

Documents: [20160212164121.PDF](#)

- 6.b. Discussion And Possible Action Concerning A Request For A Special Use, Height Variance, Class I Site Plan And Plat Of Dedication From St. Peter The Apostle Catholic Church At 524 N. Rush Street As Recommended By Itasca Plan Commission (PC #16-006).

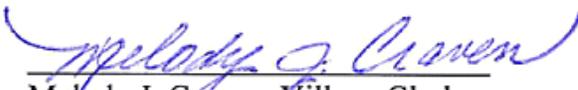
Documents: [COTW MEMO- 524 N. RUSH-ST. PETER- 02.16.16.PDF](#)

6.b.a. Backup

Documents: [20160212164325.PDF](#)

7. Administration Committee
8. Environment Committee
9. Public Safety Committee
10. Public Works/Infrastructure Committee
  - 10.a. Recap Of Public Works/Infrastructure Committee Meeting Held February 16, 2016 At 5:30PM.
  - 10.b. Discussion And Possible Action Concerning Hamilton Lakes Watermain Cost Sharing Agreement.
11. Finance Committee
12. Department Head Reports
13. Executive Session
14. Adjournment

  
\_\_\_\_\_  
Evan Teich, Village Administrator

  
\_\_\_\_\_  
Melody J. Craven, Village Clerk

## VILLAGE OF ITASCA COMMITTEE OF THE WHOLE MEETING MINUTES

### February 2, 2016 – Immediately Following Village Board Meeting

- Call to Order:** Mayor Jeff Pruyn called the meeting to order at 7:47PM.
- Roll Call:** Present: Trustees – Marty Hower, Jeff Aiani, Mike Latoria, Frank Madaras, Ellen Leahy, Lucy Santorsola; Village Clerk – Melody Craven.
- Also present: Village Administrator – Evan Teich; Chief of Police – Robert O'Connor; Community Development Director – Nancy Hill; Director of Public Works – Ross Hitchcock; Finance Director – Julie Ciesla; Village Engineering Consultant – Al Stefan.
- Pledge of Allegiance:** Recited at the preceding Village Board Meeting.
- Audience Participation:** None.
- Minutes:** Mayor Pruyn asked if there were any questions regarding or corrections to the Committee of the Whole Meeting minutes of (January 19, 2016) January 19, 2016 as presented. Hearing none, Trustee Latoria made a motion to approve said minutes; Trustee Hower seconded the motion. Motion carried by a unanimous voice vote.
- President's Comments:** Boy Scout Troop 409 members were in attendance to fulfill a (Boy Scout – Merit Badge) requirement for a merit badge.
- (Commission/Board vacancies) Mayor Pruyn reported that there was one (1) vacancy each on the following: Historical Commission and Police Pension Board.
- Community Development Committee:** Trustee Latoria presented discussion and possible action concerning Resolution #840-16 "A Resolution Authorizing Execution of a Proposal Letter Between the Village of Itasca and Brycer, LLC." Mayor Pruyn asked justification for the \$5.00 increase in fees. Ms. Nancy Hill and Mr. Leigh Fabbri responded that additional features that were not in the original 2012 contract – including a new call center – are the reasons for the fee increase. Hearing no further comments or questions, Trustee Latoria made a motion to approve Resolution #840-16; Trustee Madaras seconded the motion. Roll Call Vote: Ayes – Trustees Aiani, Madaras, Latoria, Hower, Leahy and Santorsola; Nays – None; Absent – None; Abstain – None. Motion carried.
- (Ordinance #1789-16) Trustee Latoria presented discussion and possible action concerning Ordinance #1789-16 "An Ordinance Amending Ordinances Nos. 1601-11 and 1603-12 to Add Language to

Amendment to the International Fire Code.” Hearing no objections, Trustee Latoria made a motion to recommend approval of Ordinance #1786-16; Trustee Leahy seconded the motion. Motion carried by a majority voice vote.

(Petition for Special Use – Zippy Shell, 751 N. Rohlwing Road)

Trustee Latoria presented discussion and possible action concerning a Petition for Special Use from Zippy Shell for outdoor storage at 751 N. Rohlwing Road as recommended by Itasca Plan Commission (PC 16-003). Sheri Tretina addressed the Board briefly. Trustee Leahy asked Ms. Tretina how many “shells” would potentially be parked on site. Ms. Tretina confirmed that there would be 15 of these shell containers. Hearing no further comments or questions, Trustee Latoria made a motion to approve the Petition for Special Use for Zippy Shell; Trustee Leahy seconded the motion. Motion carried by a majority voice vote.

(Petition to Amend Special Use and Class I Site Plan – Elk Grove Park District)

Trustee Latoria presented discussion and possible action concerning a Petition to Amend Special Use and Class I Site Plan from Elk Grove Village Park District as recommended by Itasca Plan Commission (PC 16-005). Hearing no objections, Trustee Latoria made a motion to approve the Petition to Amend Special Use and Class I Site Plan from Elk Grove Village Park District; Trustee Madaras seconded the motion. Motion carried by a majority voice vote.

**President’s Comments (Cont.):**  
(West Central Reliability Project)

Mr. Evan Teich initiated discussion regarding the ComEd “West Central Reliability Project.” The proposal from ComEd is to install numerous 130’ to 150’ power poles approximately every 600 feet from the Bartlett substation on the south side of the Tollway with arms being placed on the south side. ComEd has owned the right-of-way for 20 to 30 years since the inception of the Elgin O’Hare Expressway.

On Thursday, February 11, 2016 from 4:00PM to 7:00PM there was an “Open House Forum” regarding this topic. Mayor Pruyt stated that this was an extra meeting that would not have occurred as ComEd was planning to only two meetings in DuPage County and two meetings in Cook County.

ComEd plans to apply to ICC in March. The poles would be constructed in 2017. The cost to bury the lines would be 10 times the cost of above ground poles and wires. ICC has this project on their website as a potential future project. The Village of Itasca encourages everyone to comment on via the ICC website. ComEd has agreed to meet with village managers prior to a main meeting scheduled for February 18, 2016.

In order to stop or delay this process, the Village can enter in an intervener process, a legal proceeding, with the Illinois Commerce Commission (ICC). Intervening would require hiring specialized legal counsel and experts which could prove to be very costly.

Mayor Pruyn asked the Board for concurrence to give him and Mr. Evan Teich authority to spend up to \$100,000.00 to put into this intervention process. The details would be discussed at a future meeting.

Trustee Aiani stated that he is opposed to the installation of the proposed poles and power lines, but he felt \$100,000.00 is too much money to spend on something the Village cannot control.

Mr. Teich reported that Elk Grove Village, Roselle, Schaumburg, Hanover Park would be partners in this fight.

Itasca resident, Mr. Jay Manguba of 927 Clover Ridge Lane, addressed the Board stating that he would like to see the reports regarding the safety of the power lines. He thanked the Board for being willing to fight on behalf of the residents.

Further discussion on the matter would take place at a later date.

(Coffee with the Mayor –  
January 30, 2016)

Mayor Pruyn reported that the Coffee with the Mayor event held on Saturday, January 30, 2016 has a good turnout with three residents and Trustee Aiani.

(Proposed Employee Merit  
System)

Mayor Pruyn presented discussion and possible action concerning a proposed merit system.

Mr. Teich reported on a proposed merit system. He presented the Board with two options.

Option #1 creates a 3% cap on merit and the elimination of the Cost of Living Adjustment (COLA) increase for non-union employees. Staff's main goal with Option #1 is to avoid demotivating employees and to provide some financial incentive to reward employees for going above and beyond performance standards.

With Option #2, staff looked at a way to address compression issues and keep salaries competitive with both internal and external comparables. Option #2 builds on Option #1 by increasing the cap from 3.0% to 3.50% for our top performers. This option provides slightly more separation between each of the higher performance categories, thereby providing a greater financial incentive for better performance.

In an effort to address competitiveness with like communities, Option #2 also includes a biannual review of the salary ranges and a review of each non-union employee's placement within his or her respective range. An employee that has fallen behind in the range or is in the incorrect placement given his or her experience, knowledge, skills, and abilities would be eligible for up to an additional 4% increase at the discretion of the Village Administrator, based on their annual evaluation to allow for movement within the range.

Mr. Teich said Ms. Cristina White and Ms. Julie Ciesla were on hand to answer questions and he thanked them for their work on this proposal.

Trustee Madaras would not support anything above 3% increases at this time. He thinks "Meet Expectations" should be given no more than 2 ½% and "Exceeds Expectations" should be given no more than 2 ¾%.

Discussion ensued over the criteria and rating system involved in the evaluation process.

Trustee Latoria asked for the criteria for each rating and how it would be given to an employee. Mr. Teich informed the Board that each employee would receive an evaluation by their department head and that he would have final approval. Trustee Latoria trusts the employees and department heads, but he doesn't trust the process. He asked for it to be proven to him before he could agree with Mr. Teich's recommendation. Trustee Latoria wanted an explanation regarding what would warrant a "Top Performer" rating.

Trustee Latoria stated that he could not support Mr. Teich's recommendation as, after 5 ½ years, there were no specific goals or merit criteria in place. He asked Mr. Teich to review the proposed merit system and revise it.

Trustee Hower stated that the Board approved the union contracts which included step increases in addition to percentage increases as stipulated. He stated that the merit pool being requested is approximately \$15,000 and he felt it would be money well spent.

Trustee Aiani made a motion to recommend approval of Option #2 which builds on Option #1 by increasing the cap from 3.0% to 3.50% for our top performers. Trustee Leahy seconded the motion. Roll Call Vote: Ayes – Trustees Hower, Leahy, Aiani. Nays – Madaras, Latoria, Santorsola. Motion failed due to a tie vote; Mayor Pruyn abstained.

Trustee Hower made a motion to recommend approval of Option #1 creating a 3% cap on merit and the elimination of the Cost of Living Adjustment (COLA) increase for non-union employees. Trustee Leahy seconded the motion. The main motion was delayed due to tabling.

Trustee Latoria made a motion to table the vote to recommend Option #1 for two weeks; Trustee Aiani seconded the motion. The motion carried by a unanimous voice vote.

**Administration Committee:**  
Trustee Santorsola, Chairperson

Trustee Santorsola had no report.

**Environment Committee:**  
Trustee Leahy, Chairperson

Trustee Leahy had no report.

**Finance Committee:**  
Trustee Hower, Chairperson

Trustee Hower had no report.

**Public Safety Committee:**  
Trustee Madaras, Chairperson

Trustee Madaras had no report.

**Public Works/Infrastructure Committee:**

Trustee Aiani, Chairperson  
(Robinson Engineering Agreement – Holiday Inn Lift Station)

Trustee Aiani presented discussion and possible action concerning a Robinson Engineering Agreement regarding the Holiday Inn Lift Station. Hearing no objections, Trustee Aiani made a motion to approve the Robinson Engineering Agreement regarding the Holiday Inn Lift Station; Trustee Leahy seconded the motion. Motion carried by a majority voice vote.

(Robinson Engineering Task Order 15-388.02)

Trustee Aiani presented discussion and possible action concerning Robinson Engineering Task Order 15-388.02 for Design and Permitting Services for the remaining Nature Center Paths Hearing no objections, Trustee Aiani made a motion to approve Robinson Engineering Task Order 15-388.02; Trustee Leahy seconded the motion. Motion carried by a majority voice vote.

(Public Works/Infrastructure Committee Meeting on January 19, 2016)

Trustee Aiani made a motion to schedule a Public Works/Infrastructure Committee meeting to discuss the Capital Improvement Plan at 5:30PM on Tuesday, February 16, 2016; Trustee Leahy seconded the motion. Motion carried by a majority voice vote.

**Department Heads:**

Chief O'Connor reported on the Itasca School District Advisory Team and its vacancies. Mayor Pruyn was asked to join the team. The first meeting is scheduled for February 11, 2016. He stated he would be asking for the last candidate on the eligibility list to fill a vacancy. Mayor Pruyn reported that Itasca Police Commission would begin working on a new eligibility list.

Ms. Nancy Hill, Community Development Director, reported that her department is working with American Academy of Pediatrics (AAP). One condition of approval was the completion of a traffic study. After review, staff found that there is some impact to Devon Avenue (Cook County). Additional conversations would be needed regarding Park Blvd. and Pierce Rd. Before a building permit would be issued, the Village would have to reach an agreement to what contribution would need to be made by AAP.

Mr. Ross Hitchcock, Public Works Director, reported that Dave Sloan, General Services Superintendent, hosted a workshop at Morton Arboretum.

Ms. Julie Ciesla, Finance Director, reported that there have been minor responses to the water/sewer rate letters. Business

letters would be sent out tomorrow, February 3, 2016. She further reported that the budget process is underway for this fiscal year. In regards to the audit contract renewal, she has asked Sikich for a proposal of a 3-year contract.

Mr. Evan Teich, Village Administrator, thanked Jake Lawrence, Dan Corcoran and Melody Craven on the recent electronic process of Agenda Planner. The goal is over a shorter period of time to do the packets electronically and try to get away from delivery of the packets. If Trustees still want a packet, they would be available in the Trustees' mailboxes.

Village Clerk Melody Craven had no report.

Village Attorney Chuck Hervas reported on several items. He reported that Dr. Emil Marogil, an Itasca orthodontist, has filed suit against the property owner as a result of a sewage backup. A week ago he added the Village of Itasca to the lawsuit. Mr. Hervas has been assigned to the court. The Public Duty Rule would have been the principal defense in this case, but there are additional tort immunities that will likely help the Village.

Friedrich's vs. School District, an ongoing lawsuit regarding "Fair Share" is now at the Supreme Court level in an attempt to abolish "Fair Share." This case should be decided in the next four to five months.

Mr. Hervas reported there had been an inquiry regarding an office use of one of the office complex condos and whether or not one of the condos could be used for a religious organization. Mr. Bob Kartholl, Chairman of the Zoning Board of Appeals, is very familiar with this subject and helped with the inquiry. Mr. Hervas complimented the Community Development Department on how they handled the inquiry and felt that it should be mentioned that Mr. Kartholl was impressed with the way the inquiry was handled.

Trustee Hower thanked Public Works, Liquor Commissioner, and the Police Department for their assistance with the benefit at Church Street Brewing.

**Adjournment:**

Trustee Santorsola made a motion to adjourn the Committee of the Whole Meeting at 8:02PM; Trustee Madaras seconded the motion. Motion carried by a unanimous voice vote.

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Minutes by: Melody J. Craven, Village Clerk



**Village of Itasca**  
**Community Development Department**

550 WEST IRVING PARK RD. ITASCA, IL 60143  
PHONE: 630/773-5568 FAX: 630/773-0852  
e-mail: smalik@itasca.com  
www.itasca.com

**MEMORANDUM**

**TO:** President Jeff Pruyn  
Village Board of Trustees

**RE:** PC #16-004  
Itasca Country Club  
400 E. Orchard  
Amend special use, variances for signs and  
height of accessory structure

**FROM:** Shannon L. Malik, AICP  
Planner III

**COTW:** February 16, 2016

**CC:** File

**ENCL:** Plan Commission staff report  
Revised location diagram for north sign  
Forest Preserve District review letter

Itasca Country Club seeks approval of variances to allow for the addition of two signs promoting The Fox & Turtle restaurant. In addition, they request an amendment to their 1997 special use which limited the height of the driving range poles/netting to 35' and a variance to allow for the height of the poles to be increased with pairs of poles of ascending heights from 35', to 45', to 60' from west to east.

The requests before the Village Board are as follows:

- A. Amend special use in order to complete driving range improvements.
- B. Variance for the height of an accessory structure.
- C. Variance for the number and square footage of proposed signs.

**Plan Commission Recommendation**

The Plan Commission conducted a public hearing on this matter on January 20, 2016. The Itasca Historical Commission discussed the signage proposal on January 21, 2016 and was comfortable with the aesthetic.

With regard to the special use request, the Plan Commission reviewed the required Findings of Fact and **recommended approval** of the special use by a vote of 3-2 (with the Chair voting).

With regard to the height variance request, the Plan Commission reviewed the required Findings of Fact and **failed to approve** of the variance by a vote of 3-2 (with the Chair voting). By Code, in situations where the Plan Commission fails to approve of a proposed variation, the request must receive a favorable vote of 2/3 of the Village Board (Section 14.09(7)). The Village Board also has the option of referring the matter back to the Plan Commission.

With regard to the signage variance requests, the Plan Commission reviewed the required Findings of Fact and **recommended approval** of the variances by a vote of 4-0.

The approvals were made contingent upon the following conditions, as recommended by staff:

- 1. Permit documents must be in substantial compliance with Plan Commission/Village Board submittal.

- 
2. The project must comply with all Village Ordinances, Building Codes, and the DuPage County Stormwater Ordinance.
  3. Any favorable recommendation is subject to final engineering approval and the recommendations within the engineering memo prepared by Amy S. McKenna, PE, dated January 11, 2016.
  4. The variance will become null and void if permits have not been applied for within one year.
  5. It appears that proposed sign 1 may be located in the floodway and need to be relocated.
  6. Any favorable recommendation is conditioned upon conformance with the recommendation of the Historical Commission as it relates to signage.

### **Other Information**

The Plan Commission was generally comfortable with the driving range use, but had reservations about the lack of a top net to contain balls within the driving range. The petitioner has since researched technical questions that came up at the Plan Commission meeting and indicated that their consultant, Tex Net, suggests limiting the use of irons and clubs which can be used in the facility in order to ensure that there are no issues with balls being hit outside of the limits of the netting.

For this reason, staff suggested, and the applicant agrees, to post restrictions at the driving range indicating that the use of 9, 7, and 6 irons is prohibited, and to provide club members with education on these requirements. The Club was given the option of re-considering adding a top net in order to eliminate these restrictions, and decided that it preferred to move forward with the restrictions.

Staff suggests adding the following to the list of conditions enumerated above:

7. Itasca Country Club will post regulations at the driving range which clearly prohibit the use of 9, 7, and 6 irons and provide additional education through communications with membership. If, at any time, these restrictions fail to prevent golf balls from escaping the netted area, the Village reserves the right to require a top net immediately.

Separately, the Country Club has provided staff with the requested new exhibit for the proposed sign on the north side of the property and is working on selecting a location outside of the floodway and providing topography for the proposed sign on the south side of the property. Compliance will be verified during the permit review process and conditions 3 and 5 above directly address the matter.



**Village of Itasca  
Community Development Department  
Plan Commission  
Agenda Item**

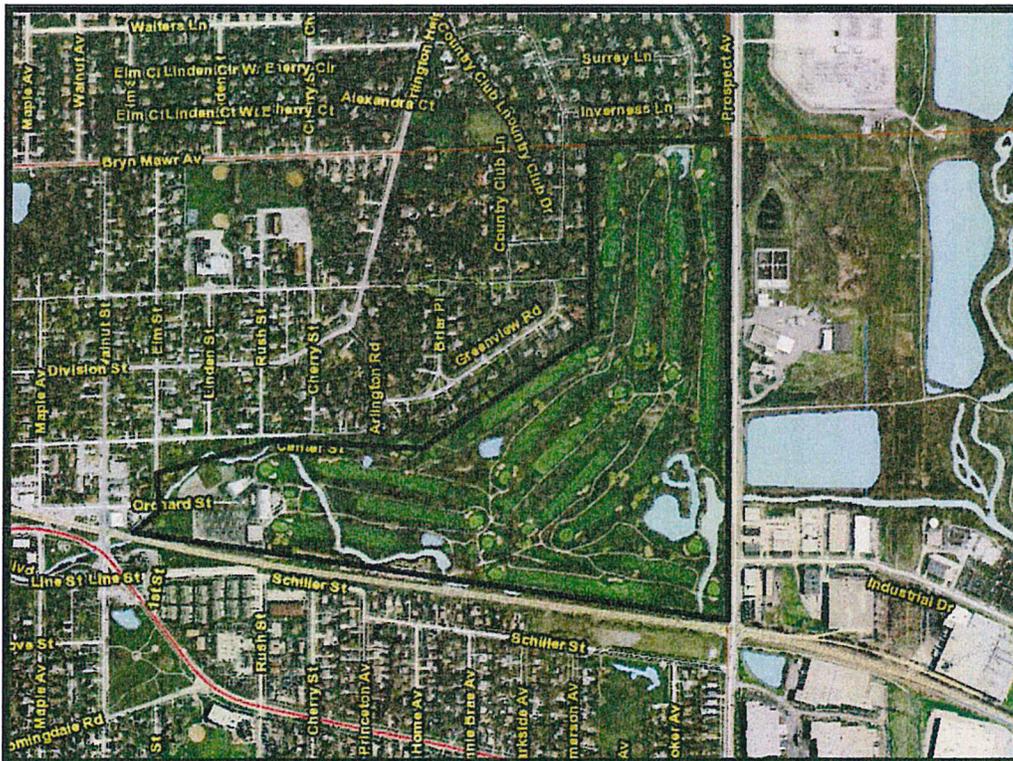
**PUBLIC HEARING: January 20, 2016** **PC 16-004**

**TITLE: Itasca Country Club**  
**ADDRESS: 400 E. Orchard**  
**PIN'S: 03-08-211-004, 03-08-123-013, 03-08-136-016, and 03-08-132-008**

Itasca Golf Real Estate Holdings LLC, property owner, with Itasca Golf LLC (DBA Itasca Country Club), for the following, all in the R-1 Single Family Residence District:

- A. Amend special use in order to complete driving range improvements.
- B. Variance for the height of an accessory structure.
- C. Variance for the number and square footage of proposed signs.

**LOCATION**



*Approximate location of Subject property outlined in black (Source: DuPage County GIS)*

**GENERAL INFORMATION**

Current Use: Private golf course with ancillary uses  
 Proposed Use: No change  
 Current Zoning: R-1 Single Family Residence District

## **BACKGROUND**

The subject property is zoned R-1 Single Family Residence District and is the location of Itasca Country Club, a membership based recreational club, featuring an 18 hole golf course, swimming pool, restaurant, and banquet facility. The Club has been in operation since the 1920's and is bound by Prospect Avenue to the east and the railroad tracks to the south. The main entrance to the club is located at Orchard and Elm Streets.

In 2014, the Country Club was acquired by new owners who have been completing improvements to the property in order to modernize the facility and attract new members.

The Plan Commission will recall that in 2015, Itasca Country Club received approval for variances related to the number of signs and total square footage of signs so that an updated logo and expanded signage program could be rolled out to help brand and identify the club.

At this time, the Itasca Country Club is planning to make some improvements to the existing driving range by removing and replacing netting and poles in poor condition. They would also like to install two new ground signs to help promote The Fox & Turtle restaurant.

## **ZONING ANALYSIS**

### *Amendment to Special Use for Driving Range Improvements*

Golf courses require a special use in the R-1 Single Family Residence District (Section 4.04(2)(d)). Itasca Country Club did receive a special use to operate the driving range in 1997 with a condition that the poles used to support the driving range netting were not to exceed 35' in height. An amendment to the special use is requested in order to permit poles and netting measuring greater than 35'.

The Country Club has expressed that they have had issues with maintenance of the netting and sagging due to all of the support poles being the same height. Their project design team has come up with a solution featuring six pairs of poles with ascending heights from 35', to 45', to 60' from west to east.

In order to commence with this solution, the special use must be amended to permit the poles to exceed the 35' limitation.

*Variance for Height of Accessory Structure- Driving Range*

Additionally, a variance is necessary because the Zoning Ordinance limits accessory structures to a maximum height of 18' (Section 4.13(4)). All six poles will exceed this maximum permitted height. The westernmost two poles will measure 35' in height, the middle two poles will measure 45', and the easternmost poles will measure 60' to accommodate for the height that is gained by the ball as it moves farther away from the golfer's swing.



***Driving Range looking north from Schiller Street on the south side of RR tracks***

*Variance for the Number and Square Footage of Signs- Fox & Turtle*

Itasca Country Club has made investments into the restaurant within the primary on-site building and opened The Fox & Turtle restaurant last year. In order to promote the restaurant's location off the beaten path, and its accessibility to diners regardless of whether or not they are members of the golf club, the petitioner is seeking approval of an expansion of the signage program which was approved by variance last year.

At that time, the Village Board granted approval of variances to increase the number of signs to a total of 10 with a combined area of 295 square feet (Ord. 1750-15).

Because the property is located within the R-1 Single Family Residence District, the signage permitted by Code is especially restrictive as the Zoning Ordinance does not contemplate permissible signage for non-residential uses. The petitioner is limited to a single sign in the amount of 144 square inches, or 1 square foot of signage per Section 13.03(1)(a)(1).

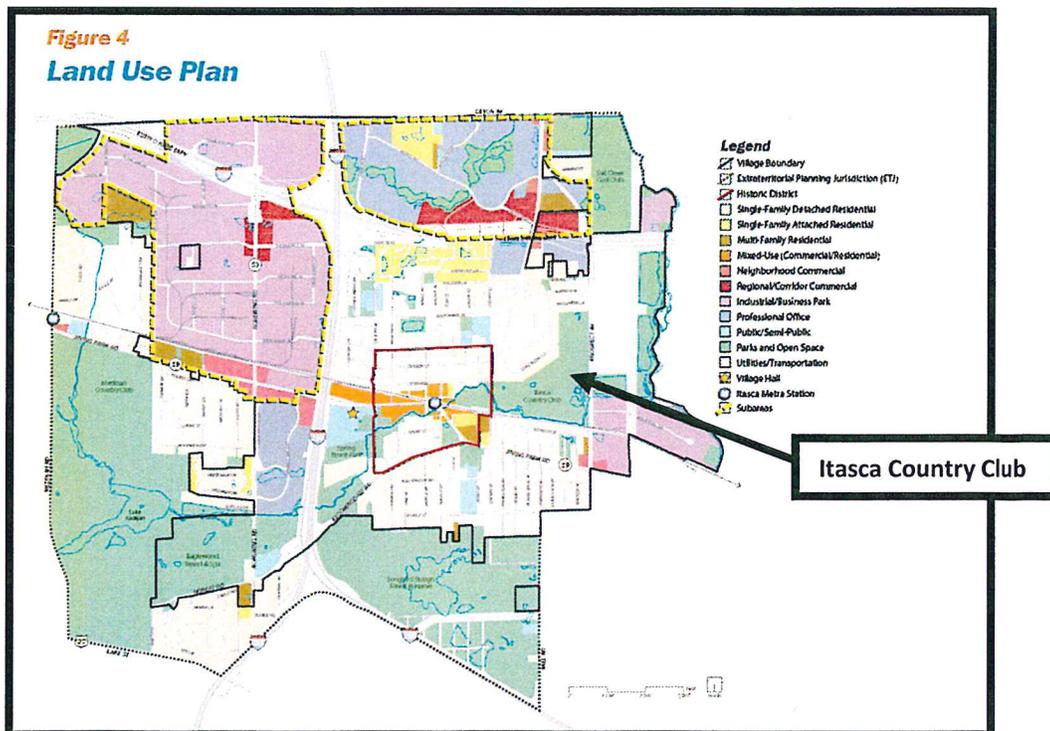
Sign 1 is proposed to be located near the driving range on the southern portion of the property adjacent to the train tracks. It will measure 5.8' feet in height and the dimensions are 2.8' x 11', or roughly 31 square feet. This sign features the name of the restaurant and "Open to the Public".

Sign 2 is proposed to be located near the northeast corner of the golf course along Prospect Avenue. It will measure 7.1' in height and the dimensions are 4.1' x 14.3', or roughly 59.7 square feet. The sign features the name of the restaurant.

Together, the two new signs will measure 90.7 square feet. The total square footage of all existing approved signage plus the two new proposed signs would be approximately 385.7 square feet.

#### *Comprehensive Plan Consistency*

This proposal is consistent with the newly adopted 2015 Comprehensive Plan Parks and Open Space criteria.



## **OTHER COMMENTS**

### *Engineering Analysis*

The Village's consulting Engineer, Amy McKenna, PE, has provided preliminary review comments, dated January 11, 2016, which are attached.

In regards to the driving range, in order to obtain stormwater certification from DuPage County for work within the floodplain, additional exhibits will need to be prepared showing an erosion control plan and the floodplain limits. It is anticipated that the improvements in this existing location will be acceptable, once the plans can be verified during the final engineering approval process.

With regard to the signage, it appears that proposed sign number 1 may need to be relocated as it appears to be in the floodway. Any relocation must meet the underlying requirements of the Zoning Ordinance.

These items will be incorporated into the staff recommended conditions of approval enumerated below.

### *Metra*

The Village is in receipt of documentation indicating that Metra has agreed to allow the continued use of a portion of their property where the driving range encroaches over the Itasca Country Club south property line and onto Metra's land.

### *Itasca Historical Commission*

The proposed new signage for the restaurant has been forwarded to the Itasca Historical Commission for their review and recommendation. Their recommendation will be forwarded to the Village Board when this request is scheduled for Committee of the Whole.

## **STAFF RECOMMENDED CONDITIONS OF APPROVAL**

Staff recommends the following conditions be placed upon any favorable recommendation by the Plan Commission:

1. Permit documents must be in substantial compliance with Plan Commission/Village Board submittal.
2. The project must comply with all Village Ordinances, Building Codes, and the DuPage County Stormwater Ordinance.

3. Any favorable recommendation is subject to final engineering approval and the recommendations within the engineering memo prepared by Amy S. McKenna, PE, dated January 11, 2016.
4. The variance will become null and void if permits have not been applied for within one year.
5. It appears that proposed sign 1 may be located in the floodway and need to be relocated. It appears that proposed sign 2 may be located outside of Itasca Country Club property:
  - a. Plat exhibits showing the proposed location and dimensions of the signs, property lines, setbacks to all property lines, and floodway will be required prior to the requests associated with PC 16-004 being scheduled for Committee of the Whole.
  - b. No signs may be placed in the public right of way or private property under different ownership.
  - c. All signs must be located a minimum of 5' from all property lines.
6. Any favorable recommendation is conditioned upon conformance with the recommendation of the Historical Commission as it relates to signage.

**REQUIRED FINDINGS OF FACT FOR SPECIAL USE**

Per Section 14.11(7), the Plan Commission is required to make the following findings should it make a favorable recommendation on the Special Use Permit application:

1. *The approval of such Special Use is in the public interest and is not solely for the interest of the applicant;*
2. *The proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;*
3. *Such use will not under the circumstances of the particular case be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity; and*
4. *The proposed use will comply with the regulations and conditions specified in the Itasca Zoning Ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.*

**REQUIRED FINDINGS OF FACT FOR VARIANCE**

Per Section 14.09(3) of the Zoning Ordinance, in making a determination on a request for Variance, the Plan Commission is to determine whether there are any particular difficulties or particular hardships, take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:

1. *The particular physical surroundings, shape or topographical conditions of the specific property involved would bring a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out;*
2. *The conditions upon which the petition for variation is based would not be applicable generally to other property within the same zoning classification;*
3. *The purpose of the variation is not based exclusively upon a desire to make more money from the property, or merely for the convenience of the owner;*
4. *The alleged difficulty or hardship has not been created by any person presently having an interest in the property;*
5. *The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or*
6. *The proposed variation will not impair an adequate supply of light on adjacent property or substantially increase the danger of fire or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.*

The applicant has responded to the required Findings of Fact within the Petition for Variance/Special Use.

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**DOCUMENTS ATTACHED**

1. Applications signed December 18, 2015.
2. Parcel map exhibits with improvement locations, prepared by Schlaf-Sedig & Associates, Inc., undated.
3. Signage exhibits prepared by Divine Signs, undated.

4. Site plan and elevations for driving range, prepared by Cornice & Rose, dated December 15, 2015.
5. Location exhibit showing driving range and sign locations, unsigned, undated.
6. Photograph exhibit of net existing condition, unsigned, undated.

**PETITION FOR SPECIAL USE**

Village of Itasca Plan Commission  
c/o Community Development Department  
550 W. Irving Park Rd.  
Itasca, IL 60143  
(Ph): 630-773-5568 (F): 630-773-0852  
comdev@itasca.com

Date Submitted: 12/17/2015

**ALL ITEMS MUST BE COMPLETE TO PROCESS APPLICATION**

Address(es) of Property: 400 East Orchard, Itasca, IL 60143

Owner(s) of Property: Itasca Golf Real Estate Holdings LLC

Petitioner(s) (if other than owners): Itasca Golf LLC DBA Itasca Country Club

Existing Use: Country Club Zoning: R-1

P.I.N. #(s): 03-08-211-004-0000, 3-08-123-013-0000, Lot Size (sq. ft.):  
03-08-136-016-0000

Please answer the following questions (you may attached additional sheets if needed):

1.) Please provide a detailed description of the use requested.  
We currently have a driving range with 6 poles that are each 35 feet in height. However, because all of the poles are the same height, this has led to a sag in the middle of the netting that cannot be corrected without changing the height of the poles. See "Photo of Sagging Netting". Therefore, we request that the height of our poles be adjusted so that we have a pair of poles that are 35 feet, 45 feet and 60 feet in height as depicted in the attached architectural renderings.

2.) Please explain how the special use requested is in the interest of the public and is not solely for the interest of the applicant.  
The current facility is unsightly and the netting over the top of the driving range sags in the middle. We would like to improve the facility so that it is more attractive to our members and anyone who sees the driving range facility. This improvement in the aesthetics of the driving range and permission for variance and special use will have a benefit to the country club as well as the community.

3.) Explain the reasons why the special use is necessary or desirable for the public convenience and how it will contribute to the general welfare of the neighborhood or community at this location.

The country club provides services (such as golf, restaurant, banquet and recreation) that generate business/revenue for the club and the village. By addressing our driving range facility, which is critical to the success of any golf club, we will be able to attract more members as well as keep the members that we have satisfied with the facility and their membership. The Country Club requests this variance and special use so that we can better serve the community and provide for an aesthetically pleasing driving range for the neighborhood and community.

4.) Will the special use be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity? Please explain your answer.

No, this special use will not be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity. Because a portion of the property on which the driving range is located is on Metra property (which is leased by the Club from Metra), this project has been reviewed and approved by their internal engineers. We will have additional steps to complete in order to comply with Metra's requirements for safety and risk management including utilizing a 'flagman' on the day the poles are being installed to provide for safe passage for passengers on Metra.

5.) What effect will the use have on property values and improvements in the vicinity? Please explain your answer.

We believe that this improvement to the driving range facility will have a positive effect on property values for our surrounding neighbors. The success and beauty of the country club will provide the community with an amenity that will be attractive to new perspective residents and a benefit to current residents, as well.

Owner's Name(s): Itasca Golf Real Estate Holdings LLC

Address: 150 East Pierce Road 6th Floor Phone: 630-773-1800

Itasca, Illinois 60143 Email: LRepta@itascagolf.com

Petitioner's Name(s): Itasca Golf LLC DBA Itasca Country Club

Address(es): 400 East Orchard, Itasca, IL 60143 Phone: 630-773-1800

Email: LRepta@itascagolf.com

Agent or Attorney (if applicable)

Site Planner or Engineer (if applicable)

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Firm: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Email: \_\_\_\_\_

Please attach the following:

- Legal description of property (from title policy or plat of survey) – required for all variances.
- Current plat of survey (showing all site improvements/structures and easements).
- Architectural renderings of new or altered structures (if applicable).
- Site Plan (drawn to scale showing buildings, parking spaces, storm water detention and all other significant data with all pertinent dimensions fully noted).
- If held in trust, letter naming all beneficiaries of the trust and authorizing the below signed person to act on the matters related to the petition request. The letter must be signed by all beneficiaries of the trust.

THE LEGAL TITLEHOLDER MUST SIGN THE PETITION. Where the property is held in trust, the trust officer must sign the petition and include a letter naming all beneficiaries of the trust and authorizing the below signed person to act on the matters related to this petition request. The undersigned acknowledges and agrees that this application and all documentation submitted becomes public record and may be viewed by the public.

I/WE Itasca Golf Real Estate Holdings LLC DO HEREBY CERTIFY OR AFFIRM THAT I/WE ARE THE OWNER(S) OF RECORD OF THE AFORESAID DESCRIBED PROPERTY AND HEREBY MADE APPLICATION AS SUCH.

Signature: *Sean Repta* Date: 12/18/15

**SUBSCRIBED AND SWORN TO**

BEFORE ME THIS 18 DAY OF DECEMBER, 2015

*Lucia Loizzo*  
 NOTARY PUBLIC



**PETITION FOR VARIANCE**

Village of Itasca Plan Commission  
c/o Community Development Department  
550 W. Irving Park Rd.  
Itasca, IL 60143  
(Ph): 630-773-5568 (F): 630-773-0852  
comdev@itasca.com

Date Submitted: 12/17/2015

**ALL ITEMS MUST BE COMPLETE TO PROCESS APPLICATION**

Address(es) of Property: 400 East Orchard, Itasca, IL 60143

Owner(s) of Property: Itasca Golf Real Estate Holdings LLC

Petitioner(s) (if other than owners): Itasca Golf LLC DBA Itasca Country Club

Existing Use: Country Club Zoning: R-1

P.I.N. #(s): 03-08-211-004-0000, 3-08-123-013-0000, Lot Size (sq. ft.):  
03-08-136-016-0000

Please answer the following questions (you may attached additional sheets if needed):

- 1.) Specifically state the variance(s) which is sought including the relevant section(s) of the Zoning Ordinance and how and/or the amount(s) by which the ordinance is sought to be varied.  
The 13.03 SIGN PROVISIONS states that:  
In R-1, R-2 Single Family and R-3 General Residence Districts, for all residence categories, except multi-family, a nameplate shall not exceed one hundred and forty-four (144) square inches in area, and shall indicate only the name and address of the occupant; there shall be not more than one (1) such nameplate for each dwelling; it shall be affixed to the dwelling flat against the door, or on the wall adjacent thereto, or within the boundaries of the zoning lot as provided herein.

We request that the Itasca Country Club be able to install new signage in the 2 proposed locations as described in the attached "Itasca Country Club Signage Document" dated December 16, 2015.

- 2.) Generally state the purpose and reasons for which the variance(s) is/are sought.  
This variance is sought because the country club is operating its business in an R-1 zone. While the zoning does not customarily allow for more than 144 square inches of signage, given the significant amount of property that the country club occupies, the services (such as golf, restaurant, banquet and recreation) provided by the country club and the business/revenue generated by the country club, Itasca Country Club requests this variance so that we can better serve the community and identify our important businesses.

- 3.) Explain how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the Zoning Ordinance.

Without appropriate signage, the community, our members and guests can not easily identify the name of our business or the nature/purpose of our business. Our restaurant, the Fox & Turtle, is particularly difficult to locate and given that it is open to the public, this is most challenging. We will not be able to capture potential revenue from banquets, golf, membership and our restaurant if our location is difficult to find or if possible customers do not know of the club's existence.

- 4.) State and explain the particular factors of the property (e.g., physical surroundings, shape or topographical conditions, etc.) that bring a hardship to the owner under the strict letter of the Zoning Ordinance.  
Given that we are located a distance from the main street (Walnut) and have a long driveway leading up to the buildings on our property, restrictions on being able to install appropriate signage causes a hardship for us. Given the restrictions of signage in R-1 zones makes it difficult for the community, our members and guests to know with confidence that they are in the right place.
- 5.) Explain how the plight of the owner is due to unique circumstances and not generally applicable to other properties in the neighborhood.  
Because we have commercial use buildings and a country club business operating in an R-1 zone, our plight is unique and would not apply to our neighbors or other properties in the neighborhood.
- 6.) State the effects of the proposed variation(s) upon the character of the neighborhood, the property values, traffic conditions, public utilities, storm water detention, and other matters pertaining to the public health, safety, morals, and general welfare of the community. Explain how the variation will not alter the essential character of the locality.  
The proposed variation would allow the community, our members, and guests to more easily identify the services provided by the country club. Given how our property is situated, the signage should not change the essential character of the community nor decrease the property value of the residences surrounding the club. We do not believe that the requested signage will have an impact on the public utilities or storm water detention on our property.

---

Owner's Name(s): Itasca Golf Real Estate Holdings LLC

Address: 150 East Pierce Road 6th Floor Phone: 630-773-1800  
Itasca, Illinois 60143 Email: LRepta@itascagolf.com

Petitioner's Name(s): Itasca Golf LLC DBA Itasca Country Club

Address(es): 400 East Orchard, Itasca, IL 60143 Phone: 630-773-1800  
Email: LRepta@itascagolf.com

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Agent or Attorney (if applicable)

Site Planner or Engineer (if applicable)

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Firm: \_\_\_\_\_

Firm: \_\_\_\_\_

Address: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Email: \_\_\_\_\_

Please attach the following:

- Legal description of property (from title policy or plat of survey) – required for all variances.
- Current plat of survey (showing all site improvements/structures and easements).
- Architectural renderings of new or altered structures (if applicable).
- Site Plan (drawn to scale showing buildings, parking spaces, storm water detention and all other significant data with all pertinent dimensions fully noted).
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I/WE Itasca Golf Real Estate Holdings LLC DO HEREBY CERTIFY OR AFFIRM THAT I/WE ARE THE OWNER(S) OF RECORD OF THE AFORESAID DESCRIBED PROPERTY AND HEREBY MADE APPLICATION AS SUCH.

Signature: *Heleana Bepta*

Date: 12/18/15

**SUBSCRIBED AND SWORN TO**

BEFORE ME THIS 1<sup>st</sup> DAY OF DECEMBER, 2015

*Lucia Loizzo*  
NOTARY PUBLIC





Municipal Expertise. Community Commitment.

**TO:** Shannon Malik, Planner III  
**FROM:** Amy S. McKenna, PE, Consulting Engineer  
**DATE:** January 11, 2016  
**RE:** Itasca Country Club Driving Range and Signage Improvements Engineering Comments

We have received the following items:

- Overall Parcel Map exhibit with improvement locations highlighted, prepared by Schlaf-Sedig & Associates, Inc., undated
- Parcel Map exhibit (3 pages), prepared by Schlaf-Sedig & Associates, Inc., undated
- Architectural Renderings by Divine Signs Graphics and sign dimensions, undated
- Site Plan and Elevation for Driving Range Improvements, prepared by Cornice & Rose International, dated 12/15/15
- Aerial exhibit with driving range and sign locations
- Photograph of sagging netting

Based on the information provided by the applicant and the available records at this time, we offer the following comments and concerns as they relate to the civil engineering-related items.

1. In accordance with the DuPage County Countywide Stormwater and Flood Plain Ordinance (CSFPO), the developer must obtain appropriate approval and authorization from IDNR-OWR and DuPage County Stormwater Management, because it appears that work (to install sign 1 and the new driving range poles and netting) is proposed within the floodplain and/or floodway.
  - 1.1. Based on the information provided, the driving range improvements appear to be in the floodplain (and not floodway) would likely meet the requirements of the General Certification pertaining to the construction of posts, fencing, and guard rails in a flood plain or buffer. The Village reviews the General Certification submittal and then asks for a Letter of No Objection from DuPage County Stormwater Management. The General Certification can be reviewed here:  
[http://www.dupageco.org/EDP/Stormwater\\_Management/Regulatory\\_Services/1420/](http://www.dupageco.org/EDP/Stormwater_Management/Regulatory_Services/1420/)
  - 1.2. It appears that Sign 1 might be currently located within the floodway. The developer's engineer should determine the location of the floodway and review the requirements for appropriate uses within the floodway per Section 15-82 of the CSFPO. It does not appear that advertising signage is included on the list of appropriate uses, so the location of the proposed sign might need to be changed.

*This review is only for general conformance with the design criteria established by the Village and is subject to both the completeness of the information submitted by the developer's professional staff and also the actual ability of the plan to perform in accordance with its intent. Actual field conditions may vary and additional items may arise which are not readily apparent based on this submittal. The developer's design professionals are responsible for performing and checking all design computations, dimensions, and details relating to design, construction, compliance with all applicable codes and regulations, and obtaining all permits. Additionally, other bodies of government may have jurisdiction over various aspects of this development. The developer should be advised that additional measures may be required based on actual field conditions and formal approvals of the other agencies. Please note that this review does not include all site & landscaping issues per the Zoning Ordinance such as building setbacks, lot coverage, parking dimensions, etc. and the applicant shall refer to the Community Development Department for a complete review of such issues.*

**Should you have any questions or concerns, please do not hesitate to contact me at 815-412-2714 or [amckenna@reltd.com](mailto:amckenna@reltd.com).**



Google Earth Views of Driving Range and Sign Locations

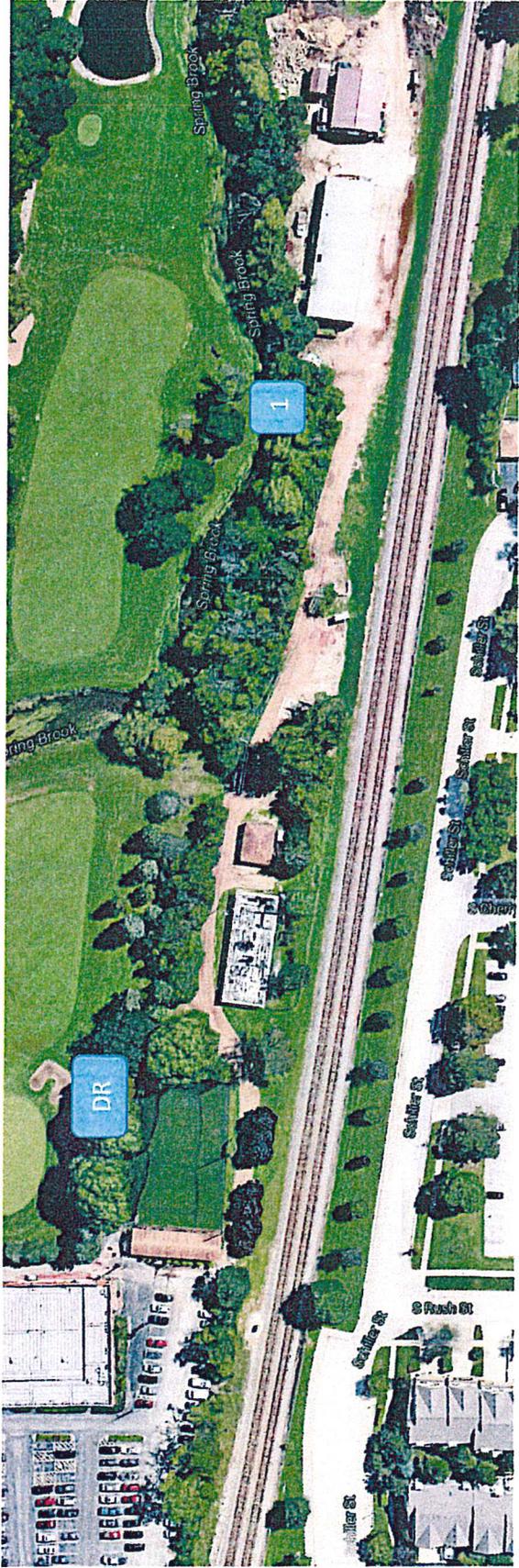


Photo of Sagging Netting



Petition for Variance from Itasca Country Club  
For Driving Range Poles and 2 Additional Signs

1 – Plat of Survey Highlighting the Location of the Driving Range and 2 Proposed Sign Locations

2 – Complete 2008 Plat of Survey from Schlaf-Sedig & Associates *(3 Pages)*

3 – Architectural Renderings and Site Plan of Driving Range from Cornice & Rose *(3 Pages)*

4 – Google Earth Maps Detailing Location of Driving Range (DR), Sign #1 along the railroad tracks (1) and Sign #2 at the north corner of our property along Prospect Ave (2) *(2 Pages)*

5 – Photo of Sagging Netting at Current Driving Range

6 – Renderings of 2 Proposed Signs *(2 Pages)*

## Petition for Variance from Itasca Country Club

### Renderings of 2 Proposed Signs (2 Pages)

- Sign #1
  - Size Including Poles – 70" x 132"
  - Size Without Poles – 34" x 132"
  
- Sign #2
  - Size Including Poles – 86" x ~~132"~~ <sup>172"</sup>
  - Size Without Poles – 50" x 172"



601 ESTES AVE. PHONE: 847-534-9220  
 SCHAUMBURG, IL 60193 FAX: 847-534-9221

PLEASE CHECK THE APPROPRIATE CIRCLE BEFORE RETURNING THIS PROOF

- APPROVED
- APPROVED AS NOTED
- MAKE CORRECTIONS AND REPROOF

UNIQUE COLORS

COLOR AK    COLOR AK    COLOR AK    COLOR AK    COLOR AK

THIS PROOF IS NOT FOR COLOR MATCHING

SIGNED \_\_\_\_\_ DATED \_\_\_\_/\_\_\_\_/\_\_\_\_

*[Handwritten signature]*



601 ESTES AVE. PHONE: 847-534-9220  
SCHAUMBURG, IL 60193 FAX: 847-534-9221

PLEASE CHECK THE APPROPRIATE CIRCLE BEFORE RETURNING THIS PROOF

APPROVED

APPROVED AS NOTED

MAKE CORRECTIONS AND REPROOF

UNIQUE COLORS

COLOR XX    COLOR XX    COLOR XX    COLOR XX    COLOR XX

THIS PROOF IS NOT FOR COLOR MATCHING

SIGNED \_\_\_\_\_ DATED \_\_\_\_/\_\_\_\_/\_\_\_\_



Forest Preserve District  
of DuPage County

*Connecting People to Nature for 100 Years*

Rec'd 1/20/16

35580 Naperville Road  
P.O. Box 5000  
Wheaton, IL 60189  
630.933.7200  
Fax 630.933.7204  
TTY 800.526.0857  
dupageforest.org

Sent VIA e-mail: Smalik@itasca.com

FILE COPY

January 20, 2016

Mark Kischner  
Chairman, Plan Commission  
Village of Itasca  
550 W. Irving Park Road  
Itasca, Illinois 60143

Re: Notice of Public Hearing - Itasca Golf LLC (dba Itasca Country Club)  
400 E. Orchard Street  
Itasca, IL 60143  
PINs 03-08-211-004, 03-08-123-013, 03-08-136-016 and 03-08-132-008

Dear Mr. Kischner:

The Forest Preserve District of DuPage County recently received a Notice of Public Hearing regarding Itasca Golf LLC's petition to amend a special use and approve variances for height and signage for the aforementioned property. We appreciate receiving timely notification of such projects/requests that may have an impact on our nearby property, and thank you for the opportunity to comment.

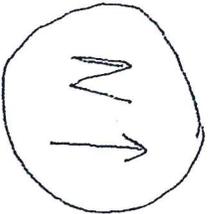
District Staff has reviewed the Public Hearing Notice requests and the information provided and does not have any comments at this time. Please call me at (630) 933-7235 if you have any questions.

Sincerely,

Kevin Stough  
Land Preservation Manager

Cc: Dan Zinnen, Director of Resource Management and Development  
Shannon Malik, AICP, Planner for Village of Itasca

Lot 39



Property line

Chain fence

Itasca Country Club

5'

Proposed Sign Location

12"

5'

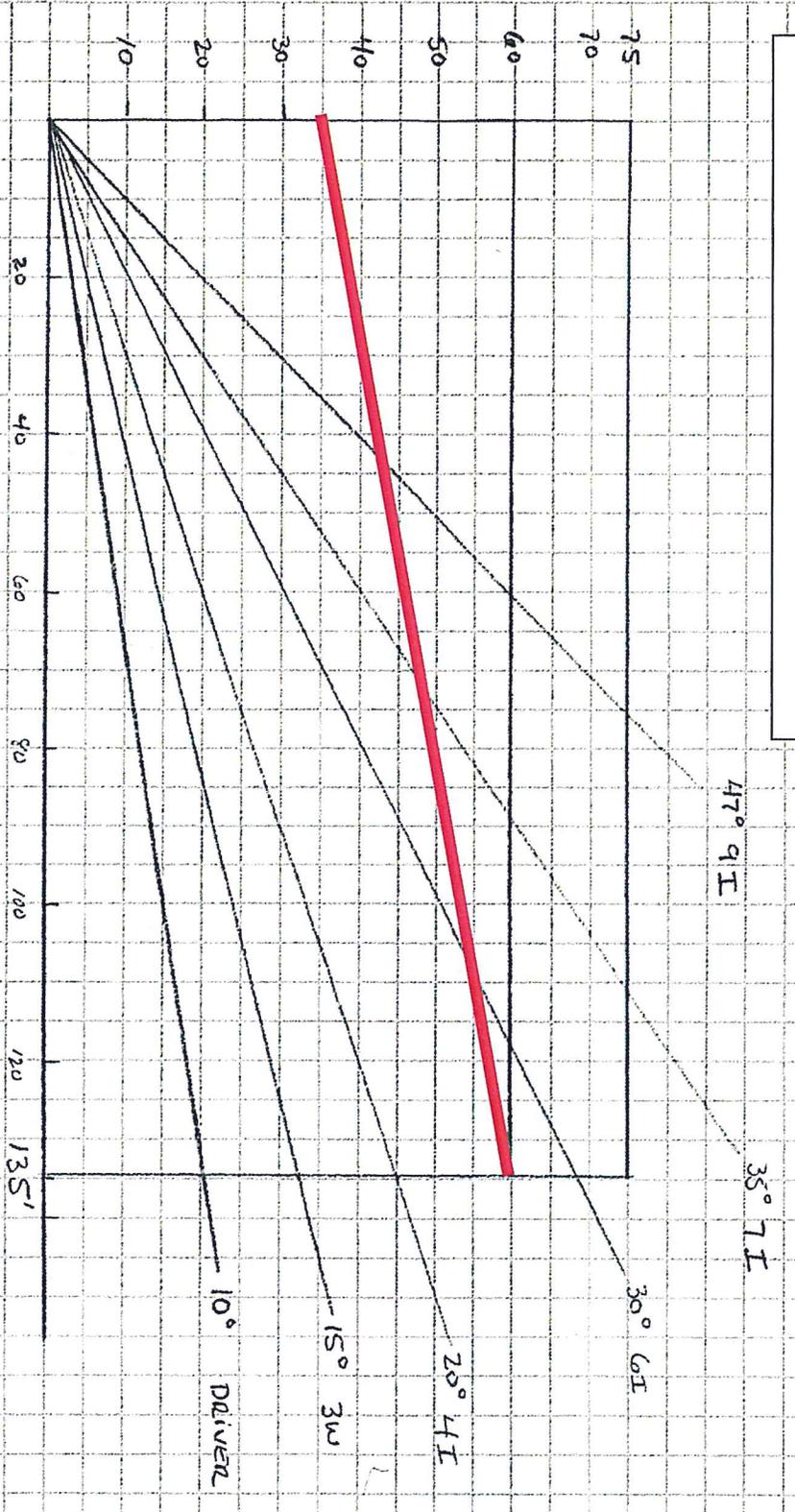
Property line  
Chain fence

Prospect Ave.

Itasca Country Club  
Proposed Sign Location #2  
1/15/16  
(Revision #2)

ITW SCA CC

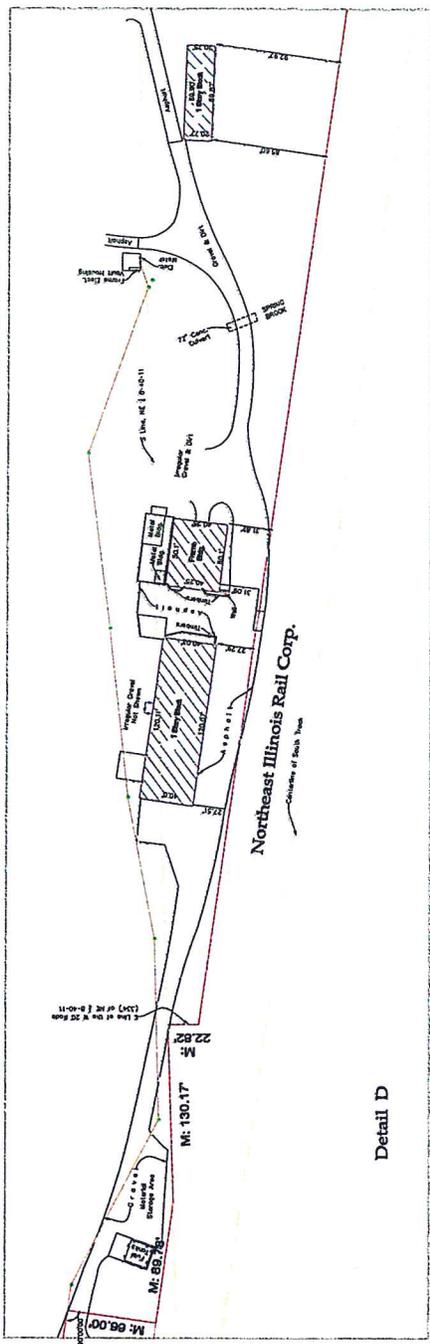
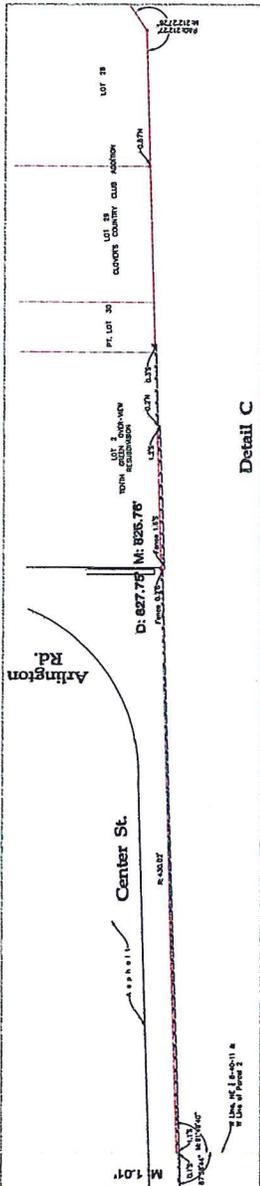
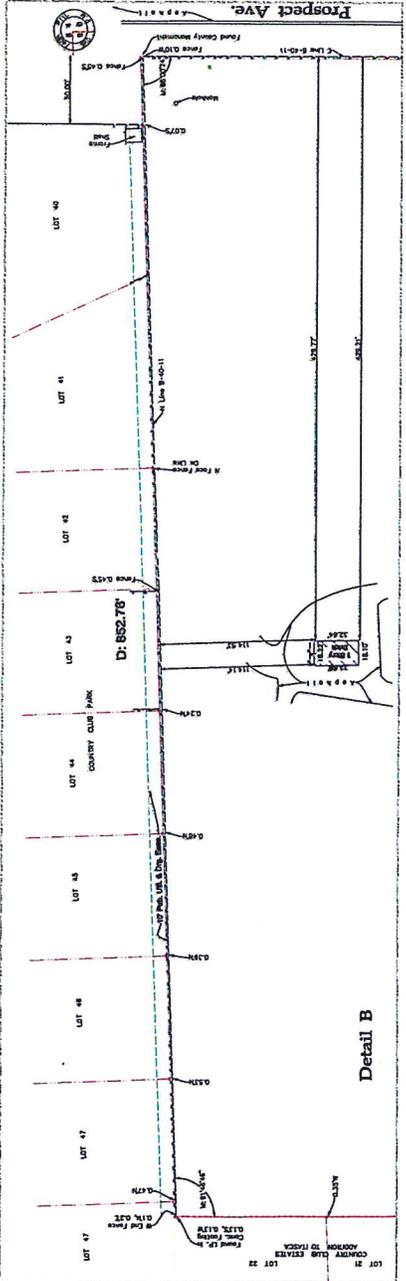
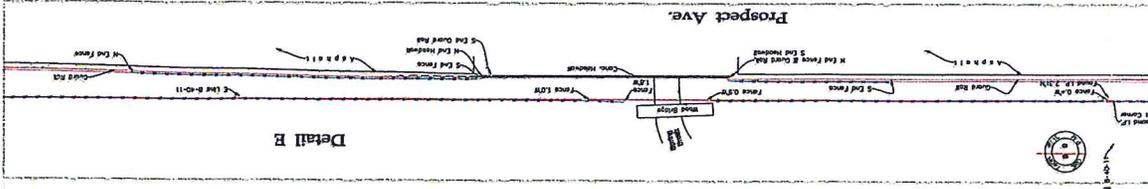
NOTE:  
Based on this drawing, the following clubs cannot  
be utilized in the proposed ICC driving range:  
9 irons, 7 irons, 6 irons





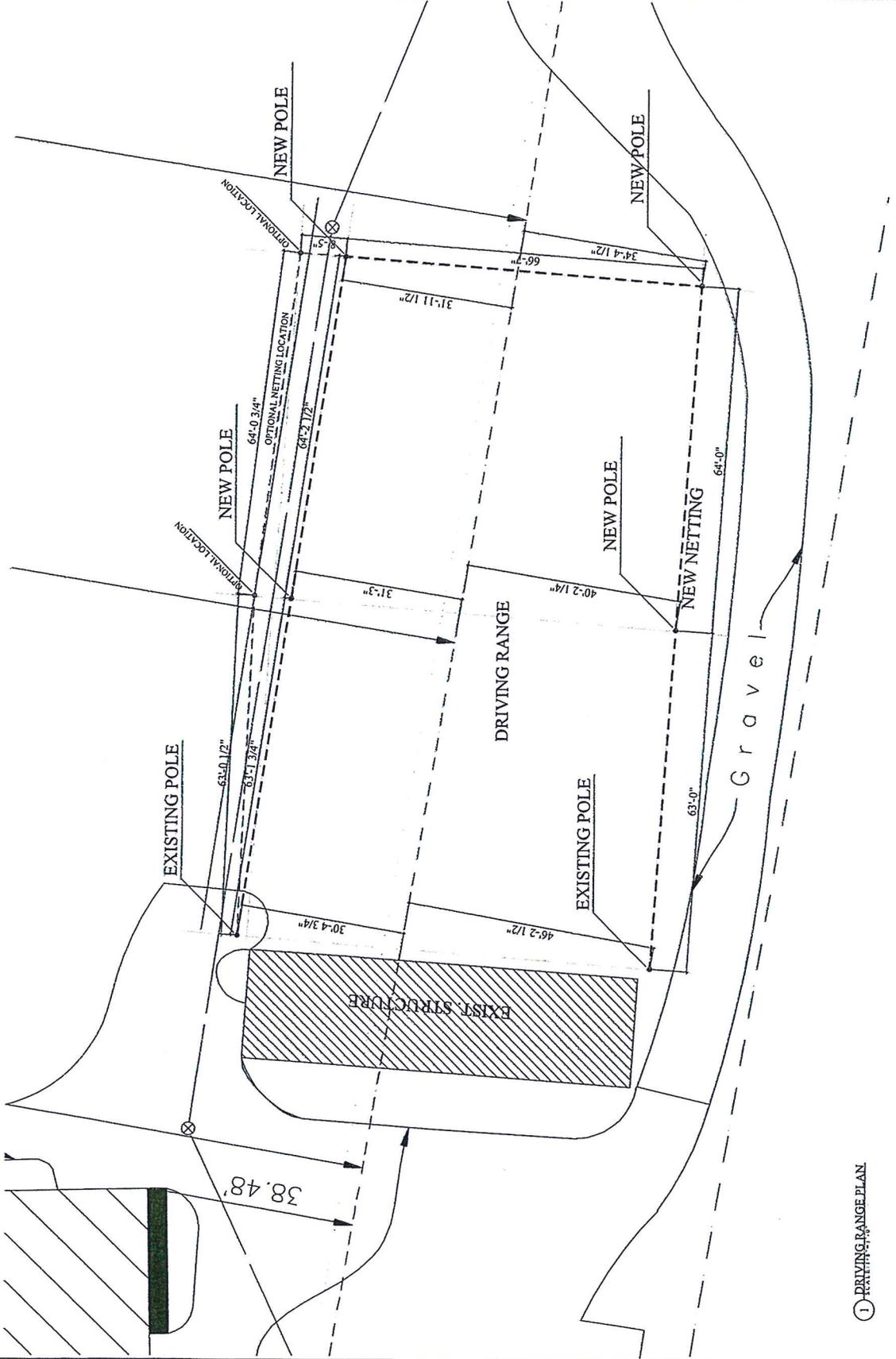






ALL DIMENSIONS  
ARE IN FEET AND INCHES  
UNLESS OTHERWISE SPECIFIED  
AND SHALL BE TO CENTER  
UNLESS NOTED OTHERWISE









## Village of Itasca Community Development Department

550 WEST IRVING PARK RD. ITASCA, IL 60143  
PHONE: 630/773-5568 FAX: 630/773-0852  
e-mail: smalik@itasca.com  
www.itasca.com

### MEMORANDUM

**TO:** President Jeff Pruyn  
Village Board of Trustees

**FROM:** Shannon L. Malik, AICP  
Planner III

**CC:** File

**RE:** PC #16-006  
St. Peter the Apostle  
524 N. Rush St.  
Special use, height variance, class I site  
plan, and plat of dedication

**COTW:** February 16, 2016

**ENCL:** Plan Commission staff report  
Forest Preserve District review letter  
Plat of Dedication for N. Rush St.

St. Peter the Apostle Catholic Parish plans to demolish the existing church building and replace it with a new, state of the art facility. All other buildings will remain on site.

The requests before the Village Board are as follows:

- A. Special use for a religious institution in the R-2 Single Family Residence District.
- B. Variance for the height of a principal structure.
- C. Class I site plan approval.
- D. Plat of Dedication for a portion of N. Rush Street

### Plan Commission Recommendation

The Plan Commission conducted a public hearing on this matter on January 20, 2016. The Plan Commission reviewed the required Findings of Fact and recommended **unanimous approval** (5-0) of the special use subject to the following conditions, as recommended by staff:

1. Permit documents must be in substantial compliance with Plan Commission/Village Board submittal.
2. The project must comply with all Village Ordinances, Building Codes, Standard Specifications, and the DuPage County Stormwater Ordinance in place at the time of permit application.
3. The variance will become null and void if permits have not been applied for within one year.
4. Approval is subject to final engineering approval and compliance with the outstanding recommendations within the engineering memos prepared by Amy S. McKenna, PE, dated July 30, 2015, November 30, 2016, and January 12, 2016.
5. Approval is subject to conformance with Fire District review comments pertaining to turning radius and route capacity for oversized vehicles as discussed in Fire Prevention Bureau Director Fabbri's memo, dated November 22, 2015.

- 
6. Approval is subject to conformance with the recommendations within the preliminary planning memo prepared by Shannon Malik, AICP, dated December 8, 2015, with the exception of item B8 regarding connecting to Peacock Park.
  7. New portions of the parking lot must comply with the curb and gutter requirements of Village Code. Existing sections of the parking lot which will not be altered can remain without the improvements, until such time that the parking lot is reconstructed. General maintenance such as striping will not be construed as reconstruction.
  8. At the time of permit application, the petitioner will need to provide evidence that all ADA and Illinois Accessibility Code parking requirements have been met.
  9. Where existing mature trees of five inches or greater in diameter (measured 3 from grade) are to be removed, replacement is required.
  10. The proposed plat of dedication for Rush Street must be provided in advance of Village Board consideration at Committee of the Whole.
  11. In order to ensure an adequate supply of parking, occupancy on site is limited to 728, which can be reasonably accommodated by the available parking supply calculated by applying section 12.05(4) of the Zoning Ordinance.
  12. If, in the future, the 21 land banked parking spaces are added, further study will be required to ensure that there are no issues with queueing and safety.
  13. The applicant will work with Village staff to modify the planned emergency access road to Bryn Mawr so that it can accommodate exiting northbound vehicles after the conclusion of church services/peak hours. The access road will be closed at all other times to vehicles other than police and fire apparatus.

### **Other Information**

During the Public Hearing, the resident at 520 N. Rush commented that he was hoping to see full access to Bryn Mawr to help alleviate traffic congestion that can occur following church services.

The Plan Commission discussed this concept in greater detail. Rather than make the Bryn Mawr curb cut for emergency vehicles full access, a compromise was suggested to open the access drive to northbound traffic only at the conclusion of church services and peak hours. The access would be closed to vehicles other than police and fire apparatus at all other times.

The petitioner's contractor indicated that this could be achieved and indicated that the project team will work with staff to come up with a suitable solution through signage, barriers, or other means which are suitable from an engineering and police/fire perspective.

Separately, since the Public Hearing, the petitioner has prepared the requested Plat of Dedication which is attached for your information. The plat is under review at this time and compliance will be verified during the permit review process with condition 4 above directly addressing the matter.



**Village of Itasca  
Community Development Department  
Plan Commission  
Agenda Item**

**PUBLIC HEARING:** January 20, 2016

**PC 16-006**

**TITLE:** St. Peter the Apostle Catholic Parish  
**ADDRESS:** 524 N. Rush St.  
**PIN'S:** 03-08-103-008 & 03-08-200-016

St. Peter the Apostle Catholic Parish, petitioner, with the Roman Catholic Diocese of Joliet Trust, property owners, for the following:

- A. Special use for a religious institution in the R-2 Single Family Residence District.
- B. Variance for the height of a principal structure.
- C. Class I site plan approval.

**LOCATION**



*Subject property shaded in red (Source: DuPage County GIS)*

**GENERAL INFORMATION**

Current Use: Church and related parish buildings  
Proposed Use: No change  
Current Zoning: R-2 Single Family Residence District

**BACKGROUND**

The subject property is zoned R-2 Single Family Residence District and is the location of the St. Peter the Apostle Catholic Church. It is generally bound by Bryn Mawr Ave. to the north, North St. to the south, Peacock Middle School to the west, and Cherry St. to the east.



*View of to be demolished church looking north from Rush St.*

The site measures just less than 8 acres and contains several buildings which serve the parish. The existing church building, constructed in 1957, is to be demolished and replaced with a new, state of the art church facility. The parish center and rectory, residential quarters, school building, and playground will remain in place.

In order to accommodate the proposal, the church is requesting a special use permit, a variance to permit height greater than the Zoning Ordinance allows in the R-2 District, and class I site plan approval.

## **ZONING ANALYSIS**

### *Special Use*

In the R-2 Single Family Residence District, religious institutions require a special use permit (Section 7.05(2)). The original church facilities were constructed in 1957, which was prior to the onset of special use requirements. Because the new church will require significant site plan changes, a special use is required in order to allow the use as a religious institution to continue.

### *Class I Site Plan Approval*

Class I Site Plan approval is required as part of the special use (Section 14.13(2)(a)).



*View of the future church site looking south from Bryn Mawr*

The proposed church building will contain approximately 18,535 square feet of space on the ground floor and approximately 22,000 square feet in total. It will be located north east of the existing church, in the approximate location of the Itasca Park District baseball diamond. Representatives from the church and park district have cooperatively determined that the ball field does not need to remain on the church's property and

elimination of the field will not harm the Park District's offerings, as a ball field is located on the adjacent Peacock Park property. The church had initially offered to relocate the diamond, however, it was not possible to offer a regulation sized playing field and there were concerns with safety due to the proximity of the new Peacock Park walking path and line of play.

Generally speaking, the existing parking lot will remain in approximately the same location, however, the number of spaces will be expanded, with parking to replace the location of the existing church. Pavement expansion will also occur south and south east of the proposed church building and will be roughly in line with the Cherry access drive.

Staff has indicated to the applicant that new portions of the parking lot will need to be compliant with the curb and gutter requirements of Village Code. Existing sections of the parking lot which will not be altered can remain without the improvements, until such time that the parking lot is reconstructed.

Some striping and circulation changes will be made, service sidewalks will be added connecting the parking lot to the new church, an emergency vehicle access path will be added, a stormwater detention facility will be constructed on the northwest portion of the property, and bio-swales will be added to the parking lot.

Site access to the public is proposed to remain the same. The parishioners enter the site from the south at North Street and Rush. It should be noted that Rush is not a dedicated street north of North Street. The development predates modern subdivision requirements and standard specifications, which is likely the reason that the dedication never took place. The Village paves and maintains this stretch of road which is located along the private property owned by the church and six residential homes between the church property and North Street to the south.

As a best practice, staff has requested a right of way dedication for the private portion of the Rush access road which is owned by the church. The church has agreed to provide this dedication. Ultimately, the goal is Village ownership of a fully dedicated stretch of Rush Street north of North Street, but this will take time to acquire. Additional dedications will be requested as the other properties redevelop.

Over time, this will eliminate the existing condition where technically, church parishioners are parking on private property in the rear yards of the residential home owners. The Village has not requested a dedication of the Cherry drive, as all of Cherry is on church property and the condition of vehicle parking taking place on private, residential property is not present.

The perceived major changes which will come about as a result of this proposed site plan are related to the location of the new church building and its height, impacts to traffic and parking, and the proposed curb cut for the emergency access lane.

For nearly 60 years, the church has been located near the center of the parcel with a great deal of separation to the Bryn Mawr right-of-way. It has been shielded to a certain extent from the south by the adjacent single family homes.

The proposed church will meet and exceed all setback and lot coverage requirements of the R-2 Single Family Residence District. The minimum rear yard setback to the Bryn Mawr property line is 40' and 64.75' will be provided. The property has historically been addressed on Rush and the petitioner plans to retain this. Had the front of the church been oriented to Bryn Mawr, the required front yard setback would have been just 30'.

The proposed emergency vehicle access path will be located near the center of the lot on the north side of the property along Bryn Mawr Avenue and it is intended to provide a third side of emergency access to the building. The path would be marked "emergency access only" and it would be constructed in order to withstand the weight of fire apparatus.

No changes to site signage or photometrics are planned at this time.

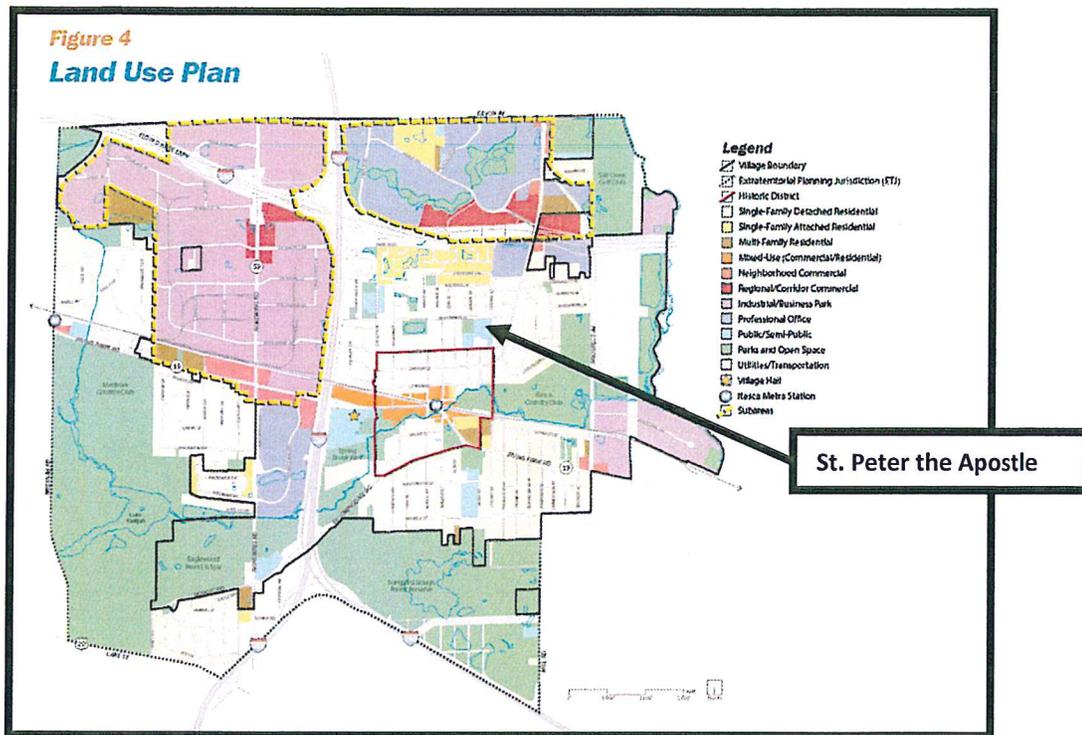
#### *Height Variance*

In the R-2 Single Family Residence District, the maximum permitted building height is 35' (Section 7.05(6)). The tallest roof ridge of the proposed church building is 49.75' high and the architectural dome is 62.4' tall. The cross on top of the dome will measure 4.1', making the highest point of the church approximately 66.5' tall.

In order to accommodate the architectural features common to this type of religious institution, the applicant requests a variance in order to exceed the 35' limitation by 14.75' to the roof ridge, 27.4' to the dome, and 31.5' to the top of the cross.

#### *Comprehensive Plan Consistency*

This proposal is consistent with the newly adopted 2015 Comprehensive Plan Parks and Public/Semi Public use criteria.



## OTHER COMMENTS

### *Architectural Synopsis*

The church will be traditional in aesthetic and well-articulated, with a great deal of special architectural features. The recessed entryway will feature stone arches, decorative columns, limestone angels, engraved stone panels, and wood doors. A stone cross will sit upon the roof near the entryway and a metal cross will be placed upon the standing seam metal roof dome. Stone accents will cap the roof lines and peaks and windows will feature arched soldier brick where rounded and 3 course brick jack arch where flat. Face brick with a continuously running stone band is featured throughout. Windows and secondary doors will be aluminum, with some windows designed to support stained glass from the interior.

### *Landscape Synopsis*

Because this is an existing site, care is being taken by the applicant to maintain the existing landscaping and retain as many trees as possible.

The site is planted with approximately 248 trees, and approximately 37 are slated for removal. It should be noted that a substantial number of existing trees are in poor to fair condition, spontaneously occurring, or weed trees. In order to counter the impact of the eliminated trees, the applicant proposes to add 47 trees, including a mix of White Oak, Magnolia, Sargent Crabapple, Red Cedar, and Colorado Spruce. In addition, a wide

variety of ornamental shrubs, grasses, and perennials are included within the landscape plan.

Staff is comfortable with the proposed planting schedule and believes that it meets the intention of the landscaping requirements of the Zoning Ordinance.

#### *Parking Summary*

The Zoning Ordinance is silent on the number of parking spaces specifically required for religious institutions, however, Section 12.05(7) states that:

*“For any use not listed, parking spaces shall be provided on the same basis as required for the most similar listed use, or as determined by the Zoning Administrator”.*

The applicant has included a parking and traffic study prepared by Eriksson Engineering Associates, dated December 17, 2015. The study references a Code requirement stating that parking spaces should be equal in number to 25% of the capacity of the seats, or the Plan Commission shall recommend the number of parking spaces needed.

It appears that the basis for this comment is from Section 12.05(4) of the Zoning Ordinance, however, upon further examination, this section of the code excludes churches, but includes halls and similar places of assembly.

The church has proposed seating for approximately 612 people at a ratio of 24” of pew space per person. Based on this seating capacity, if the Plan Commission is comfortable with applying the requirements of Section 12.05(4), despite its exception to churches, approximately 153 parking spaces would be required.

The applicant has indicated that an additional 21 parking spaces may be possible adjacent to the emergency access drive, however, this location would need to be studied further, as there may be concerns with queuing and safety.

The traffic and parking study commissioned by applicant found:

- No new traffic or parking will be necessary on site and that the parish congregation size has remained steady and is unanticipated to grow.
- Trip generation or parking demand is not expected to increase.
- No improvements to the local street system are necessary and traffic conditions are good.
- The 9% increase in available parking from 141 to 154 spaces is expected to meet the needs of the church.

Because the Code does offer some flexibility with interpreting the parking requirements for religious institutions, the Plan Commission may request additional information to support its final recommendation with regard to the number of on-site parking spaces for this development.

Because the code is not more specific, and the applicant has demonstrated that the nave/sanctuary space will not be used concurrently with the gathering space, staff is generally comfortable applying this standard. If the Plan Commission accepts this method, staff recommends capping the maximum number of visitors to the site at any given time to 612.

#### *Additional Planning Analysis*

The Village's Planner, Shannon Malik, AICP, provided preliminary review comments to the applicant on December 8, 2015, which are attached.

All major issues were addressed with the resubmittal before the Plan Commission, with the exception of D8, which was in regard to a requested connection between the church property and Peacock Park. This was eliminated from the Parish's programming due to budgetary constraints.

With the exception of D8, all items from this memo will be incorporated into the staff recommended conditions of approval.

#### *Engineering Analysis*

The Village's consulting Engineer, Amy McKenna, PE, has provided preliminary review comments, dated July 30, 2015, November 30, 2015 and January 12, 2016, which are attached.

Additional information is being requested with regard to trip generation based on future capacity. A recommendation was made in regard to considering constructing the Bryn Mawr emergency access path as a full access point for all vehicles in order to improve on-site traffic circulation and eliminate a long dead end where parking may be added in the future.

Recommendations contained within these memos will be incorporated into the staff recommended conditions of approval enumerated below.

#### *Fire District Analysis*

The Itasca Fire Protection District has reviewed the plans. Review comments prepared by Bureau Director Leigh Fabbri, dated November 22, 2015 are attached.

The outstanding issues which remain at this time will be worked out during final engineering and include providing sufficient turning radius and verifying that any route within the site that is part of the emergency vehicle access is designed to support a 80,000 pound vehicle.

These comments are incorporated into the staff recommended conditions of approval below.

**STAFF RECOMMENDED CONDITIONS OF APPROVAL**

Staff recommends the following conditions be placed upon any favorable recommendation by the Plan Commission:

1. Permit documents must be in substantial compliance with Plan Commission/Village Board submittal.
2. The project must comply with all Village Ordinances, Building Codes, Standard Specifications, and the DuPage County Stormwater Ordinance in place at the time of permit application.
3. The variance will become null and void if permits have not been applied for within one year.
4. Approval is subject to final engineering approval and compliance with the outstanding recommendations within the engineering memos prepared by Amy S. McKenna, PE, dated July 30, 2015, November 30, 2016, and January 12, 2016.
5. Approval is subject to conformance with Fire District review comments pertaining to turning radius and route capacity for oversized vehicles as discussed in Fire Prevention Bureau Director Fabbri's memo, dated November 22, 2015.
6. Approval is subject to conformance with the recommendations within the preliminary planning memo prepared by Shannon Malik, AICP, dated December 8, 2015, with the exception of item D8.
7. New portions of the parking lot must comply with the curb and gutter requirements of Village Code. Existing sections of the parking lot which will not be altered can remain without the improvements, until such time that the parking lot is reconstructed. General maintenance such as striping will not be construed as reconstruction.

8. At the time of permit application, the petitioner will need to provide evidence that all ADA and Illinois Accessibility Code parking requirements have been met.
9. Where existing mature trees of five inches or greater in diameter (measured 3 from grade) are to be removed, replacement is required.
10. The proposed plat of dedication for Rush Street must be provided in advance of Village Board consideration at Committee of the Whole.
11. In order to ensure an adequate supply of parking, occupancy on site is limited to 612, which can be reasonably accommodated by the available parking supply calculated by applying section 12.05(4) of the Zoning Ordinance.
12. If, in the future, the 21 land banked parking spaces are added, further study will be required to ensure that there are no issues with queueing and safety.

#### **REQUIRED FINDINGS OF FACT FOR SPECIAL USE**

Per Section 14.11(7), the Plan Commission is required to make the following findings should it make a favorable recommendation on the Special Use Permit application:

1. *The approval of such Special Use is in the public interest and is not solely for the interest of the applicant;*
2. *The proposed use at the particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community;*
3. *Such use will not under the circumstances of the particular case be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property values or improvements in the vicinity; and*
4. *The proposed use will comply with the regulations and conditions specified in the Itasca Zoning Ordinance for such use, and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.*

#### **REQUIRED FINDINGS OF FACT FOR VARIANCE**

Per Section 14.09(3) of the Zoning Ordinance, in making a determination on a request for Variance, the Plan Commission is to determine whether there are any particular difficulties or particular hardships, take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence:

1. *The particular physical surroundings, shape or topographical conditions of the specific property involved would bring a particular hardship upon the owner, as*

*distinguished from a mere inconvenience, if the strict letter of the regulations were to be carried out;*

2. *The conditions upon which the petition for variation is based would not be applicable generally to other property within the same zoning classification;*
3. *The purpose of the variation is not based exclusively upon a desire to make more money from the property, or merely for the convenience of the owner;*
4. *The alleged difficulty or hardship has not been created by any person presently having an interest in the property;*
5. *The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located; or*
6. *The proposed variation will not impair an adequate supply of light on adjacent property or substantially increase the danger of fire or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.*

The applicant has responded to the required Findings of Fact within the Petition for Special Use/Variance.

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#### **DOCUMENTS ATTACHED**

1. Applications signed December 18, 2015 and January 12, 2016.
2. Boundary and topographic survey, prepared by Jade Surveyors LLC, dated June 15, 2015.
3. Existing conditions plan, proposed conditions plan, fire truck auto turn exhibit, architectural site plan, floor plans, roof plan, elevations, wall sections, landscape plan, tree inventory, and photometrics prepared by JNKA Architects, dated December 18, 2015.
4. Traffic and parking analysis prepared by Eriksson Engineering Associates, LTD, dated December 17, 2015.

**PETITION FOR SPECIAL USE**

Village of Itasca Plan Commission  
c/o Community Development Department  
550 W. Irving Park Rd.  
Itasca, IL 60143  
(Ph): 630-773-5568 (F): 630-773-0852  
comdev@itasca.com

Date Submitted: 12/18/15

**ALL ITEMS MUST BE COMPLETE TO PROCESS APPLICATION**

Address(es) of Property: 524 N. Rush Street, Itasca, IL 60143

Owner(s) of Property: BISHOP R. DANIEL CONLON, Successor Trustee under the Provisions of a Trust Agreement dated December 31, 1949 and a/k/a the ROMAN CATHOLIC DIOCESE OF JOLIET TRUST

Petitioner(s) (if other than owners): St. Peter the Apostle Parish

Existing Use: Parish Church Zoning: R-2

P.I.N. #(s): 03-08-103-008, 03-08-200-016 Lot Size (sq. ft.): 7.93 Acres

Please answer the following questions (you may attached additional sheets if needed):

1.) Please provide a detailed description of the use requested.

St. Peter the Apostle Parish was founded in 1956 and in 1957 built what was intended to be a temporary church building. The existing church is in need of replacement and the parish is requesting special use to build a new church, gathering space, and new administration offices on a R-2 lot which will better serve the current needs of the parish community and also benefit the surrounding community as a whole. In addition to the use request, we are requesting a variance for the height of the building. The height of the tallest roof ridge in the new design is 49'-9" and the height of the dome is 62'-5". There is precedent with the existing church of having a taller structure on the site which is also keeping in the nature of the church use of the building. The existing church has a height of about 41' to the ridge and the existing metal cross is approximately 7' tall. The new church will be able to seat about 600 people and with the increase in capacity, a taller structure is proportionally fitting to the design asethetic. The new office space will centralize existing offices and provide an efficient administration space for the parish. The gathering space will provide a much needed central gathering space for parish and community activities.

2.) Please explain how the special use requested is in the interest of the public and is not solely for the interest of the applicant.

St. Peter the Apostle Church is the only Catholic church in the Itasca Community. More than 1,200 families are registered members of the parish. The positive effects of the parish's impact on the surrounding community will be felt by Catholic and non-Catholic alike. The church will bring bring a beautiful and stately building that will be a landmark and an anchor in the community. The new parish facilities will also have a gathering space that will be able to be rented out for weddings or other potential venues in the community.

3.) Explain the reasons why the special use is necessary or desirable for the public convenience and how it will contribute to the general welfare of the neighborhood or community at this location.

St. Peter the Apostle church serves and reaches many in the community. As a Catholic church the parish is always there, as they have been for nearly 60 years, to aid those in the community who need help and support both the spiritual and physical well being of the community. The new parish facilities will allow the church to carry out this same mission with additional space and updated facilities which will be fully accessible and more energy efficient than the existing building.

4.) Will the special use be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity? Please explain your answer.

No. Having a place to worship during the day and on weekends proves to be beneficial to the health and welfare of a community. There is a youth ministry at St. Peters which strives to promote personal and spiritual growth of young members of the community. St. Peters also acts as a charitable outreach to the community. As one example, there is a strong Knights of Columbus Council which provides charitable services and volunteer opportunities to the community. They have supported the Itasca Food Pantry, Ups for DownS for children with Down syndrome, donated wheelchairs for Veterans, and have performed many other beneficial services to the Itasca Community.

5.) What effect will the use have on property values and improvements in the vicinity? Please explain your answer.

Property values generally increase when there is a vibrant and visual Christian community. Visitors as well as perspective buyers frequently investigate the local churches in the community when considering a home. This Church project is planned as a beautiful construction replacing what was meant as a temporary facility almost 60 years ago.

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Owner's Name(s): BISHOP R. DANIEL CONLON, Successor Trustee under the Provisions of a Trust Agreement dated December 31, 1949 and a/k/a the ROMAN CATHOLIC DIOCESE OF JOLIET TRUST

Address: 16555 Weber Road Phone: 815-221-6195  
Crest Hill, IL 60403 Email: cnye@dioceseofjoliet.org

Petitioner's Name(s): Rev. Slawomir Ignasik

Address(es): 524 N. Rush Street Phone: 630-773-1272 ext. 208  
Itasca, IL 60143 Email: pastor@stpeteritasca.com

Agent or Attorney (if applicable)	Site Planner or Engineer (if applicable)
Name: <u>David Kuhlman, AIA, NCARB, ALA</u>	Name: <u>Spencer Craig</u>
Firm: <u>Jaeger Nickola Kuhlman &amp; Associates</u>	Firm: <u>Eriksson Engineering Associates, Ltd</u>
Address: <u>350 S. Northwest Highway, Suite 106</u>	Address: <u>145 Commerce Drive, Suite A</u>
<u>Park Ridge, IL 60068</u>	<u>Grayslake, IL</u>
Phone: <u>847-692-6166</u>	Phone: <u>847-223-4304</u>
Email: <u>dkuhlman@jnka-architects.com,</u> <u>kmanning@jnka-architects.com</u>	Email: <u>scraig@eea-ltd.com</u>

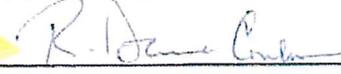
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Please attach the following:

- Legal description of property (from title policy or plat of survey) – required for all variances.
- Current plat of survey (showing all site improvements/structures and easements).
- Architectural renderings of new or altered structures (if applicable).
- Site Plan (drawn to scale showing buildings, parking spaces, storm water detention and all other significant data with all pertinent dimensions fully noted).
- If held in trust, letter naming all beneficiaries of the trust and authorizing the below signed person to act on the matters related to the petition request. The letter must be signed by all beneficiaries of the trust.

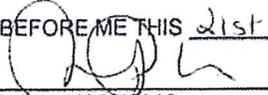
THE LEGAL TITLEHOLDER MUST SIGN THE PETITION. Where the property is held in trust, the trust officer must sign the petition and include a letter naming all beneficiaries of the trust and authorizing the below signed person to act on the matters related to this petition request. The undersigned acknowledges and agrees that this application and all documentation submitted becomes public record and may be viewed by the public.

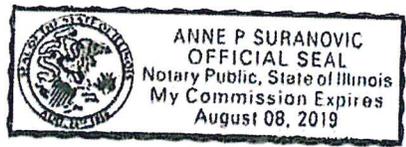
I, ~~ME~~ R. DANIEL CONLON DO HEREBY CERTIFY OR AFFIRM THAT I ~~AM~~<sup>AM</sup> THE OWNER(S) OF RECORD OF THE AFORESAID DESCRIBED PROPERTY AND HEREBY MADE APPLICATION AS SUCH.

Signature:  Date: DEC 21 2015

**SUBSCRIBED AND SWORN TO**

BEFORE ME THIS 21st DAY OF DECEMBER, 2015

  
NOTARY PUBLIC



**PETITION FOR VARIANCE**

Village of Itasca Plan Commission  
c/o Community Development Department  
550 W. Irving Park Rd.  
Itasca, IL 60143  
(Ph): 630-773-5568 (F): 630-773-0852  
comdev@itasca.com

Date Submitted: 01/06/15

**ALL ITEMS MUST BE COMPLETE TO PROCESS APPLICATION**

Address(es) of Property: 524 N. Rush Street, Itasca, IL 60143

Owner(s) of Property: BISHOP R. DANIEL CONLON, Successor Trustee under the Provisions of a Trust Agreement dated December 31, 1949 and a/k/a the ROMAN CATHOLIC DIOCESE OF JOLIET TRUST

Petitioner(s) (if other than owners): St. Peter the Apostle Parish

Existing Use: Parish Church Zoning: R-2

P.I.N. #(s): 03-08-103-008, 03-08-200-016 Lot Size (sq. ft.): 7.93 Acres

Please answer the following questions (you may attached additional sheets if needed):

- 1.) Specifically state the variance(s) which is sought including the relevant section(s) of the Zoning Ordinance and how and/or the amount(s) by which the ordinance is sought to be varied.  
We request a variance from Section 7.05.6 of the Zoning Ordinance - 35ft maximum building height.

The height of the tallest roof ridge in the new design is 49'-9" and the height of the dome is 62'-5".

- 2.) Generally state the purpose and reasons for which the variance(s) is/are sought.  
There is precedent with the existing church of having a taller structure on the site which is also keeping in the nature of the church use of the building. The existing church has a height of about 41' to the ridge and the existing metal cross is approximately 7' tall. The new church will be able to seat about 612 people (@ 24" pew space/person) and with the increase in capacity, a taller structure is proportionally fitting to the design aesthetic.

- 3.) Explain how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the Zoning Ordinance.

A maximum building height of 35ft would greatly change the design and character of the proposed church. The choir loft, an important program requirement for the church music ministry, would not be possible and the volume would shrink to a disproportionate size. With the proposed length and width required for the church occupancy, the structural systems need a certain amount of volume to be adequate and provide interior volume in the body of the church.

The proposed dome is also an important symbolic element in the design that emphasizes the sense of the sacred while reflecting the historic patrimony of Catholic church architecture.

- 4.) State and explain the particular factors of the property (e.g., physical surroundings, shape or topographical conditions, etc.) that bring a hardship to the owner under the strict letter of the Zoning Ordinance.

With a large site, the taller structure of the church will not be a physical detriment to any neighbors as it will not be adjacent to any residential scale buildings. There is also a buffer of existing buildings on the south and large amount of mature trees to the north, west and east which will mask most of the proposed building. Without the increased height the owner will neither be able to achieve the desired design for the exterior and interior of the church nor the appropriate level of visibility to the surrounding community.

- 5.) Explain how the plight of the owner is due to unique circumstances and not generally applicable to other properties in the neighborhood.

In the almost 60 year history of the Parish, the church has been a taller structure which is keeping with the Christian tradition and the architectural history of the church typology. Churches are often times a centerpoint of a community and the taller height will serve as a reminder and beacon to the community that St. Peter's is there to serve them and be a place of prayer and worship.

- 6.) State the effects of the proposed variation(s) upon the character of the neighborhood, the property values, traffic conditions, public utilities, storm water detention, and other matters pertaining to the public health, safety, morals, and general welfare of the community. Explain how the variation will not alter the essential character of the locality.

The increase in height will not have an effect on the traffic conditions, public utilities, or stormwater detention for this project. It will add to the general aesthetic of the building, and help the church to be a visible sanctuary to the community around it. Having a place to worship during the day and on weekends proves to be beneficial to the health and welfare of a community. The essential character of the locality will largely remain the same as the existing church is currently taller than the zoning code allows and it has become part of the community over the last 60 years.

Owner's Name(s): BISHOP R. DANIEL CONLON, Successor Trustee under the Provisions of a Trust Agreement dated December 31, 1949 and a/k/a the ROMAN CATHOLIC DIOCESE OF JOLIET TRUST

Address: 16555 Weber Road Phone: 815-221-6195  
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Petitioner's Name(s): Rev. Slawomir Ignasik  
Address(es): 524 N. Rush Street Phone: 630-773-1272 ext. 208  
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Agent or Attorney (if applicable)	Site Planner or Engineer (if applicable)
Name: <u>David Kuhlman, AIA, NCARB, ALA</u>	Name: <u>Spencer Craig</u>
Firm: <u>Jaeger Nickola Kuhlman &amp; Associates</u>	Firm: <u>Eriksson Engineering Associates, Ltd</u>
Address: <u>350 S. Northwest Highway, Suite 106</u>	Address: <u>145 Commerce Drive, Suite A</u>
<u>Park Ridge, IL 60068</u>	<u>Grayslake, IL</u>
Phone: <u>847-692-6166</u>	Phone: <u>847-223-4304</u>
Email: <u>dkuhlman@jnka-architects.com,</u>	Email: <u>scraig@eea-ltd.com</u>
<u>kmanning@jnka-architects.com</u>	

Please attach the following:

- Legal description of property (from title policy or plat of survey) – required for all variances.
- Current plat of survey (showing all site improvements/structures and easements).
- Architectural renderings of new or altered structures (if applicable).
- Site Plan (drawn to scale showing buildings, parking spaces, storm water detention and all other significant data with all pertinent dimensions fully noted).

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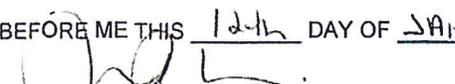
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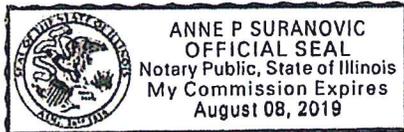
~~I~~ R. DANIEL CONLON DO HEREBY CERTIFY OR AFFIRM THAT ~~I~~ <sup>AM</sup> ~~WE~~ <sup>ARE</sup> THE OWNER(S) OF RECORD OF THE AFORESAID DESCRIBED PROPERTY AND HEREBY MADE APPLICATION AS SUCH.

Signature  Date: JAN 12 2016

SUBSCRIBED AND SWORN TO

BEFORE ME THIS 12th DAY OF JANUARY, 2016

  
NOTARY PUBLIC



## MEMORANDUM

**To:** Mr. Kevin Manning, ALA  
Jaeger, Nickola & Associates, Ltd.

**From:** Stephen B. Corcoran, P.E., PTOE  
Director of Traffic Engineering

**Date:** December 17, 2015

**Re:** St. Peter the Apostle Catholic Church  
Itasca, Illinois



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Eriksson Engineering Associates, Inc. was retained by Jaeger, Nickola & Associates, Ltd. Architects to conduct a traffic and parking analysis of a replacement church for Saint Peter the Apostle Catholic Church in Itasca, Illinois. The proposed plan will construct a new church building with parish offices and gathering space along with a new parking lot. The parking lot will be expanded from 141 to 154 spaces with an additional 21 spaces landbanked.

The purpose of the study is to observe the existing traffic patterns in the area, to determine the traffic and parking characteristics of the church, and to analyze the future traffic conditions and access needs. The following sections of this report present a detailed description of the proposed site, the existing transportation conditions, and the church's traffic and parking characteristics.

### EXISTING CONDITIONS

#### Site Location and Area Land-Use

The church campus is located at 524 North Rush Street in Itasca, Illinois. It is currently occupied by four buildings (church, offices, school, and rectory) served by two access drives connected to Rush and Cherry Streets. Land-uses near the site include single-family homes to the north, east, and south. Peacock Junior High School, Peacock Park and single-family homes are located west of the church. **Figure 1** illustrates the site location and the adjacent roadways. *(All figures are located at the end of the this report)*

#### Roadway Characteristics

**Arlington Heights Road** is a north-south road extending from Itasca north to Long Grove, Illinois. North of Devon Avenue it is classified as an arterial roadway. South of Devon Avenue and near the site, it is a collector road. At North Street, it has one through lane in each direction. Crosswalks are located on all four legs of its intersection with North Street with pedestrian crosswalk and 20 mph school speed limit signs. Arlington Heights Road is under the jurisdiction of the Village of Itasca and has a 30 mph posted speed limit. Sidewalks are provided along both sides of the road south of North Street and on the west side only to the north.

**North Street** is an east-west residential road extending between the Itasca Country Club and I-290. It has two lanes with on-street parallel parking. In front of Peacock Junior High School, there are 25 perpendicular parking spaces. At Arlington Heights Road, it is under stop sign control. On school days, North Street is restricted to one-way westbound traffic flows from Linden to Elm Streets and one-way eastbound from Linden to Rush Streets. These restrictions are from 6:30 AM to 4:00 PM on school days. North Street is under the jurisdiction of the

## **St. Peter the Apostle Catholic Church**

**December 17, 2015**

**Page 2**

Village of Itasca and has a posted speed limit of 25 miles per hour (mph) and a 15 mph school speed zone. Sidewalks are provided on both sides of the street.

**Rush Street** is a two-lane residential street with on-street parking. Rush Street is under the jurisdiction of the Village of Itasca and has a posted speed limit of 25 miles per hour (mph) and a 15 mph school speed zone. Sidewalks are provided on both sides of the street. Rush Street is under stop sign control at North Street.

**Cherry Street** is a two-lane residential street with on-street parking. Cherry Street is under the jurisdiction of the Village of Itasca and has a posted speed limit of 25 miles per hour (mph) and a 15 mph school speed zone. North of North Street, it is a one-way southbound driveway exiting the church campus. Sidewalks are provided on both sides of the street. Cherry Street is under stop sign control at North Street.

**Linden Street** is a two-lane residential street with on-street parking and under stop sign control at North Street. Linden Street is under the jurisdiction of the Village of Itasca and has a posted speed limit of 25 miles per hour (mph) and a 15 mph school speed zone. Sidewalks are provided on both sides of the street. High visibility crosswalks are provided on the east and south legs of the intersection.

**Bryn Mawr Avenue** is a two-lane residential street with on-street parking. It is under the jurisdiction of the Village of Itasca and has a posted speed limit of 25 miles per hour (mph) and a 15 mph school speed zone. Sidewalks are provided on both sides of the street.

### **Existing Traffic Volumes**

Sunday morning (9:00 AM to 12:30 PM) manual traffic counts were conducted at the intersections of North Street with Rush Street, Cherry Street, and Arlington Heights Road. These counts showed the peak-hours of traffic occurring from 10:15 to 11:00 AM for the two-way Sunday peak at the church which reflects traffic leaving the 9:30 AM Mass and arriving for the 11:15 AM Mass. Peak inbound traffic flows occurred from 10:45 AM to 11:45 AM and from 11:30 AM to 12:30 PM for outbound traffic. The existing traffic volumes are shown in **Figure 2** and included in the **Appendix**.

### **Existing Traffic Operations**

In order to quantify the operations of each intersection, the Highway Capacity Manual was used to define the capacity and vehicular delay of each intersection during the peak hours. The level of service ranges from LOS A to LOS F, with LOS A having minimal delays and LOS E/F having high levels of delay. **Table 1** summarizes the existing level of service results of the study intersections. Copies of the capacity analyses can be found in **Appendix**. Each intersection works well during all of the Sunday peak traffic periods.

## **SITE CHARACTERISTICS**

### **Church Activities**

St. Peter the Apostle's Church has four weekly masses: Saturday at 5:00 PM, Sunday at 8:00 AM, 9:30 AM, and 11:15 AM. Religious education classes for students are divided among two sessions during the week: Wednesday from 5:00 to 6:20 PM and Saturdays from 9:00 to 10:20 AM. Other programs are provided throughout the day at the church but are much smaller in size.

**Table 1**  
**Existing Intersection Level of Service**

Intersection	Sunday Two-Way Peak	Sunday Inbound Peak	Sunday Outbound Peak
Arlington Heights Road at North Street	EB Appr- LOS B- 10.3 sec Wb Appr- LOS A-9.7 sec Nb Appr - LOS A- 0.1 sec Sb Appr- LOS A- 0.4 sec	EB Appr- LOS B- 10.1 sec Wb Appr- LOS A-10.0 sec Nb Appr - LOS A- 0.1 sec Sb Appr- LOS A- 0.4 sec	EB Appr- LOS B- 10.3 sec Wb Appr- LOS A-10.0 sec Nb Appr - LOS A- 0.1 sec Sb Appr- LOS A- 0.4 sec
Cherry Street at North Street	EB Appr- LOS A- 0.0 sec Wb Appr- LOS A-0.5 sec Nb Appr - LOS A- 8.8 sec Sb Appr- LOS A- 9.4 sec	EB Appr- LOS A- 0.0 sec Wb Appr- LOS A-0.5 sec Nb Appr - LOS A- 9.1 sec Sb Appr- LOS A- 9.1 sec	EB Appr- LOS A- 0.0 sec Wb Appr- LOS A-0.6 sec Nb Appr - LOS A- 9.4 sec Sb Appr- LOS A- 9.2 sec
Rush Street at North Street	EB Appr- LOS A- 6.8 sec Wb Appr- LOS A-0.4 sec Nb Appr - LOS B- 12.5 sec Sb Appr- LOS B- 10.3 sec	EB Appr- LOS A- 6.9 sec Wb Appr- LOS A-0.4 sec Nb Appr - LOS B- 13.6 sec Sb Appr- LOS A- 9.7 sec	EB Appr- LOS A- 4.8 sec Wb Appr- LOS A-0.6 sec Nb Appr - LOS A- 8.8 sec Sb Appr- LOS B- 10.2 sec

**Proposed Site Plan**

The proposed development plan will build a new church with offices and gathering space at the northeast corner of the site. Seating in the church will be expanded from approximately 400 seats to 612 seats. The parking lot will be expanded from 141 to 154 spaces with an additional 21 spaces land banked along the emergency access road. After the new church is constructed, the existing church will be removed.

The purpose of the new building is to provide larger/updated spaces for existing and holiday activities. Based on discussions with church staff, no new programs are planned that will generate additional traffic or parking on the site. The parish congregation size has remained steady for the last several years and does not expect to grow in the future.

The new parking lot will cover the area occupied by the existing parking lot and church building. Access will remain the same with two-way access from Rush Street and one-way exit east of the school building. An emergency only access road will be built on the west side of the church to Bryn Mawr Avenue.

Currently, the existing church parking lot and circulation wraps around the existing building and forces vehicles to drive by the church and pedestrians in order to get in or out of their space. The new parking layout plan arranges perpendicular parking bays in an east-west direction that allow vehicles to enter from Rust Street and park without driving by the front of the church. After a service, vehicles then can go east or west to the Rush or Cherry Street exits. A one-way westbound driveway is provided in front of the church to allow drop-off or pick-up on the passenger side of the vehicle. Five accessible spaces are provided by the church and one by the administration offices.

**Trip Generation**

Traffic generation at the existing church from the traffic counts is shown below in **Table 2**.

**Table 2**  
**Existing Traffic Volumes**  
**At St. Peter the Apostle's Church**

Sunday	Two-Way Peak (10:15-11:15 AM)			Inbound Peak (10:45-11:45 AM)			Outbound Peak (11:30 AM-12:30 PM)		
	In	Out	Total	In	Out	Total	In	Out	Total
Existing Counts	103	97	200	129	12	141	14	117	131

**Trip Distribution**

The trip distribution for the church is based on the existing traffic volumes and is shown on **Table 3** and **Figure 3**.

**Table 3**  
**Directional Distribution**

Distribution	Inbound	Outbound
North on Arlington Heights Road	18%	17%
West on North Street	64%	51%
South on Rush Street	18%	6%
South on Cherry Street	0%	26%
<b>Total</b>	<b>100%</b>	<b>100%</b>

**Parking Requirements**

The parking requirements for a church facility in Village of Itasca's Zoning Code are one parking space for every four seats or adequate parking as determined by the zoning administrator. A total of 153 spaces are required based on the Village's ratio for 612 seats.

Parking demand surveys of churches around the nation by the Institute of Transportation Engineers' (ITE) in their Parking Generation Manual, 4<sup>th</sup> Edition, observed 0.20 spaces per seat or 123 spaces for a 612 seat church. ITE also recommends local parking surveys to be conducted to reflect regional differences in parking demand or usage.

The proposed parking supply of 154 spaces exceeds the Village's requirements and the ITE national surveys of other churches.

**Parking Surveys**

EEA conducted parking surveys concurrently with the traffic counts at the church. **Table 4** summarized the church parking usage in 15 minute increments on a Sunday during mass. Church related vehicles were parked in the church parking lot, along Rush Street, north of North Street, and in the adjacent school parking lot. **Table 4** summaries the observed parking demand. The **Appendix** includes a detailed summary of the parking surveys.

**Table 4**  
**St. Peter the Apostle's Parking Survey**  
 (Sunday October 11, 2015)

Time	Church Lot	School Lot	On-Street	Total
9:00 AM	27	8	3	38
9:15 AM	26	8	4	38
9:30 AM	60	8	8	76
9:45 AM	83	8	9	100
10:00 AM	92	7	9	108
10:15 AM	91	7	8	106
10:30 AM	22	7	3	32
10:45 AM	8	6	1	15
11:00 AM	25	3	0	28
11:15 AM	102	3	5	110
11:30 AM	115	0	8	123
11:45 AM	119	0	8	127
Noon	120	0	8	128
12:15 PM	85	0	1	86
12:30 PM	22	0	1	23

The peak-parking demand was at Noon with 128 total vehicles. Parking overlap between the 9:30 AM and 11:15 AM services was minimal. The proposed parking supply of 154 spaces will continue to serve the weekly parking demand at the church.

**Bryn Mawr On-Street Parking**

During the typical October services, there was minimal parking on the adjacent streets except for Rush Street adjacent to the church (up to 9 vehicles).

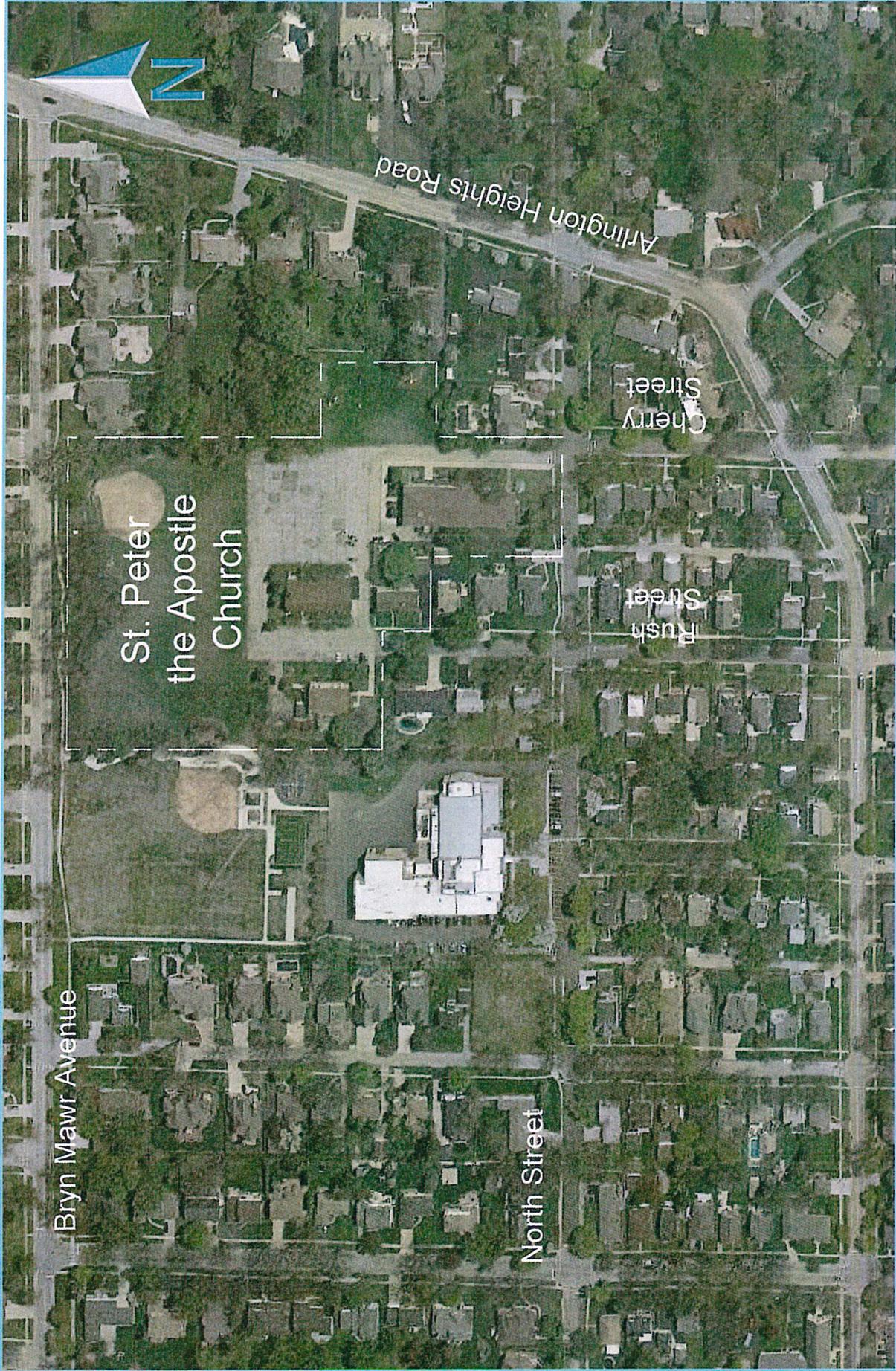
During the surveys, there was no on-street parking observed on Bryn Mawr Avenue along the church or park frontage. With the relocation of the church to the north, it is likely that some parishioners will park along Bryn Mawr Avenue, which is permitted. The church and park properties combined have over 800 feet of frontage along the south side of the street which could accommodate up to 40 vehicles without parking in front of a single-family home. Given the long walking distance for the whole frontage, it is anticipated that only 10 to 15 vehicles may use these spaces.

Consideration should be given to neighbors by posting the north side of Bryn Mawr Avenue with "No Church Parking: Sundays 8 AM to Noon". A "No Parking" will be required in front of the emergency access drive.

## **CONCLUSIONS**

The preceding traffic and parking analysis analyzed the new church building at St. Peter the Apostle Church and developed the following conclusions:

- Based on discussions with church staff, no new programs are planned that will generate new traffic or parking on the site. The parish congregation size has remained steady for the last several years and does not expect to grow in the future.
- The proposed reconstruction of the church will not increase the trip generation or parking demand at St. Peter the Apostle's Church.
- Traffic conditions along the local streets are good and no improvements are required on the local street system.
- The parking supply will be increased from 141 spaces to 154 spaces (+9%) which will meet the needs of the church and the zoning code requirement.



**Site Location & Area Roadways**

**Figure 1**

Bryn Mawr Avenue

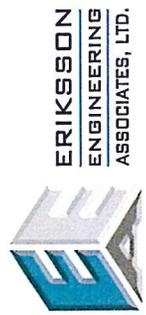
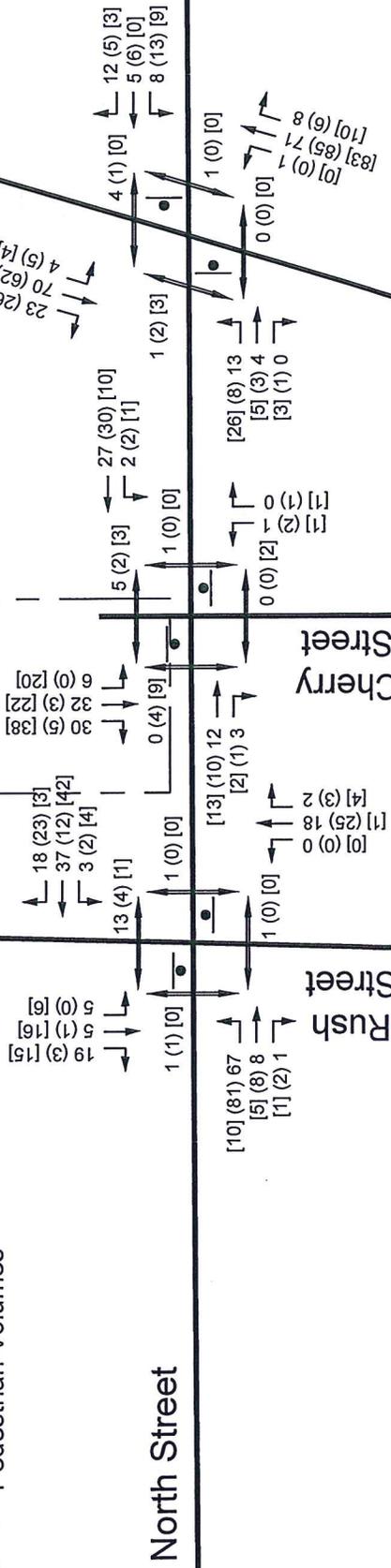


**LEGEND**

- Stop Sign
- 00 10:15 - 11:15 AM
- (00) Church Two-Way Peak
- 10:45 - 11:45 AM
- Church Inbound Peak
- [00] 11:30 AM - 12:30 PM
- Church Outbound Peak
- Pedestrian Volumes

St. Peter  
the Apostle  
Church

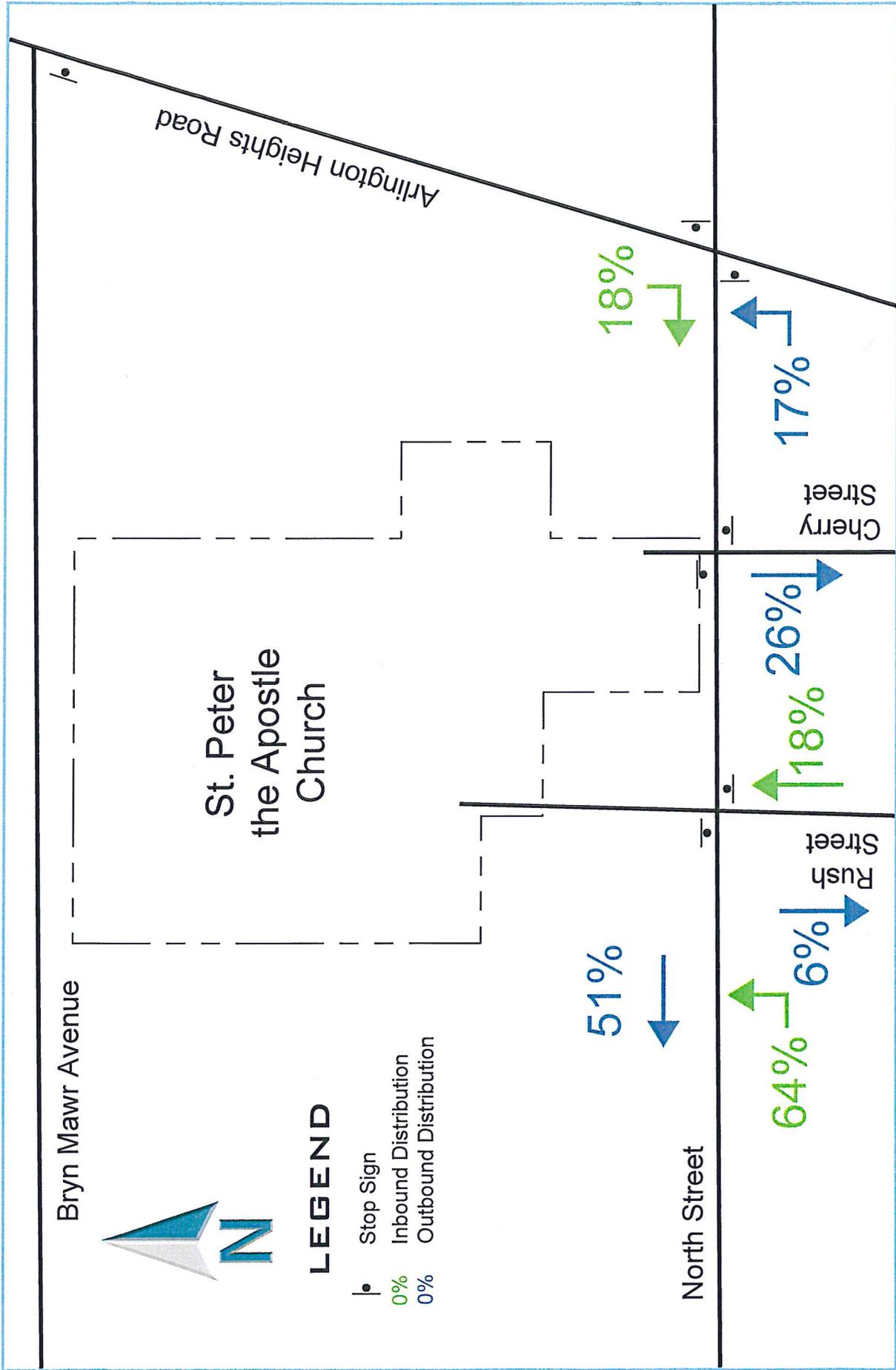
Arlington Heights Road



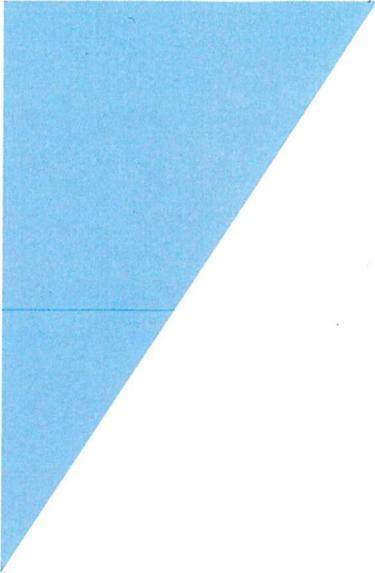
ERIKSSON  
ENGINEERING  
ASSOCIATES, LTD.

**Existing Traffic Volumes**

**Figure 2**



**Directional Distribution**  
**Figure 3**



## Appendix

- **2015 Existing Traffic/Parking Counts**
- **Intersection Capacity Analyses**





**Intersection Counts  
North Street at Cherry Street**

Itasca, Illinois

Begin Time	Cherry Street Southbound			North Street Westbound			Cherry Street Northbound			North Street Eastbound			15 Minute Totals	60 Minute Totals	Peak Hour Factor	Pedestrian Counts			
	Right Turn	Left Turn	Through	Right Turn	Left Turn	Through	Right Turn	Left Turn	Through	Right Turn	Left Turn	Through				North	East	South	West
9:00 AM	5	21	4	9	0	0	0	0	0	0	0	6	45	78	0.43	0	0	0	0
9:15 AM	1	0	1	9	0	0	0	0	0	0	0	3	14	41	0.73	3	0	0	0
9:30 AM	3	0	1	5	0	0	0	0	0	0	0	3	12	75	0.39	0	0	0	0
9:45 AM	2	1	0	2	0	0	0	0	0	0	0	2	7	89	0.46	0	0	0	0
10:00 AM	3	1	2	0	0	0	0	0	0	0	0	2	8	95	0.49	2	0	0	0
10:15 AM	17	20	6	0	1	0	0	0	0	0	0	4	48	113	0.59	3	0	0	0
10:30 AM	10	10	0	1	0	0	0	0	0	0	0	3	26	75	0.72	0	1	0	0
10:45 AM	2	0	0	9	1	0	0	0	0	0	0	1	13	54	0.52	1	0	0	0
11:00 AM	1	2	0	17	0	0	0	0	0	0	0	4	26	47	0.45	1	0	0	0
11:15 AM	1	1	0	3	0	0	0	0	0	0	0	4	10	59	0.39	0	0	0	0
11:30 AM	1	0	0	1	1	1	1	1	0	0	0	1	5	108	0.46	0	0	0	0
11:45 AM	1	0	0	3	0	0	0	0	0	0	0	1	6	38		3	0	0	0
Noon	13	7	6	4	0	0	0	0	0	0	0	6	38		0	0	0	0	0
12:15 PM	23	15	14	2	0	0	0	0	0	0	0	5	59		0	0	0	0	0
<b>Total</b>	<b>83</b>	<b>78</b>	<b>34</b>	<b>65</b>	<b>3</b>	<b>3</b>	<b>1</b>	<b>3</b>	<b>5</b>	<b>45</b>	<b>113</b>	<b>13</b>	<b>113</b>		<b>1</b>	<b>2</b>	<b>10</b>	<b>0</b>	
<b>10:15-11:15 AM</b>	<b>30</b>	<b>32</b>	<b>6</b>	<b>27</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>3</b>	<b>12</b>	<b>54</b>	<b>5</b>	<b>54</b>		<b>1</b>	<b>0</b>	<b>0</b>	<b>0</b>	
<b>10:45-11:45 AM</b>	<b>5</b>	<b>3</b>	<b>0</b>	<b>30</b>	<b>2</b>	<b>1</b>	<b>1</b>	<b>2</b>	<b>1</b>	<b>10</b>	<b>108</b>	<b>2</b>	<b>108</b>		<b>0</b>	<b>0</b>	<b>4</b>	<b>9</b>	
<b>11:30 AM-12:30 PM</b>	<b>38</b>	<b>22</b>	<b>20</b>	<b>10</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>1</b>	<b>2</b>	<b>13</b>		<b>3</b>			<b>0</b>	<b>2</b>	<b>9</b>	<b>9</b>	



**Intersection Counts  
North Street at Rush Street  
Itasca, Illinois**

Begin Time	Rush Street Southbound			North Street Westbound			Rush Street Northbound			North Street Eastbound			15 Minute Totals	60 Minute Totals	Peak Hour Factor	Pedestrian Counts			
	Right Turn	Through	Left Turn				North	East	South	West									
9:00 AM	0	1	0	7	6	0	0	2	0	0	0	5	8	124	0.53	0	0	0	0
9:15 AM	1	0	0	7	2	0	1	5	0	0	0	3	40	103	0.44	0	0	0	0
9:30 AM	0	0	0	4	3	1	0	1	0	0	0	3	14	89	0.49	0	0	0	0
9:45 AM	1	0	0	0	4	0	0	0	0	0	0	1	4	80	0.44	0	0	0	0
10:00 AM	0	1	0	0	3	0	1	1	0	0	0	1	1	105	0.58	2	0	0	1
10:15 AM	13	4	4	0	21	0	1	0	0	0	0	1	1	177	0.55	7	0	1	0
10:30 AM	4	0	1	0	5	1	0	2	0	0	0	3	1	164	0.51	3	1	0	0
10:45 AM	2	1	0	7	3	1	0	4	0	0	1	1	15	157	0.49	2	0	0	0
11:00 AM	0	0	0	11	2	1	1	12	0	0	0	3	50	133	0.42	1	0	0	1
11:15 AM	0	0	0	5	2	0	2	8	0	0	0	4	11	78	0.61	1	0	0	0
11:30 AM	1	0	0	0	1	0	0	1	0	0	1	1	5	105	0.44	0	0	0	0
11:45 AM	2	1	0	1	5	0	0	0	0	0	0	1	1	11		0	0	0	0
Noon	1	5	2	1	8	2	3	0	0	0	0	1	2	25		0	0	0	0
12:15 PM	11	10	4	1	27	2	1	0	0	0	0	1	2	59		4	0	0	0
Total	36	23	11	44	92	8	10	36	0	2	29	155				20	1	1	2
10:15-11:15 AM	19	5	5	18	31	3	2	18	0	1	8	67		177		13	1	1	1
10:45-11:45 AM	3	1	0	23	8	2	3	25	0	2	9	81		157		4	0	0	1
11:30 AM-12:30 PM	15	16	6	3	41	4	4	1	0	1	4	10		105		4	0	0	0



**St. Peter the Apostle  
Total Church Traffic Volumes**

Begin Time	Rush Inbound	Rush Outbound	Cherry Outbound	Total Out	In and Out
<b>Sunday October 11, 2015</b>					
9:00 AM	17	1	30	31	<b>48</b>
9:15 AM	52	1	2	3	<b>55</b>
9:30 AM	19	0	4	4	<b>23</b>
9:45 AM	4	1	3	4	<b>8</b>
10:00 AM	2	1	6	7	<b>9</b>
10:15 AM	1	21	43	64	<b>65</b>
10:30 AM	3	5	20	25	<b>28</b>
10:45 AM	26	3	2	5	<b>31</b>
11:00 AM	73	0	3	3	<b>76</b>
11:15 AM	24	0	2	2	<b>26</b>
11:30 AM	6	1	1	2	<b>8</b>
11:45 AM	2	3	1	4	<b>6</b>
Noon	3	8	26	34	<b>37</b>
12:15 PM	3	25	52	77	<b>80</b>
Total	235	70	195	265	<b>500</b>
<b>10:15-11:15 AM</b>	<b>103</b>	<b>29</b>	<b>68</b>	<b>97</b>	<b>200</b>
<b>10:45-11:45 AM</b>	<b>129</b>	<b>4</b>	<b>8</b>	<b>12</b>	<b>141</b>
<b>11:30 AM-12:30 PM</b>	<b>14</b>	<b>37</b>	<b>80</b>	<b>117</b>	<b>131</b>

# Parking Count Data for St. Peter the Apostle Church; Itasca, Illinois

Sunday October 11, 2015



## North Street: On-Street Counts

Time	E of A Hts		West of A HTs		West of Cherry		West of Rush		West of Linden	
	N side	S-side	N side	S-side	N side	S-side	N side	S-side	N side	S-side
9:00 AM	0	0	1	0	0	0	0	0	0	0
9:15 AM	0	0	1	0	0	0	0	0	0	0
9:30 AM	0	0	1	0	0	0	0	0	0	0
9:45 AM	0	0	1	0	0	0	0	0	0	0
10:00 AM	0	0	1	0	0	0	0	0	0	0
10:15 AM	0	0	1	0	0	0	0	0	0	0
10:30 AM	0	0	1	0	0	0	0	0	0	0
10:45 AM	0	0	1	0	0	0	0	0	0	0
11:00 AM	0	0	1	0	0	0	0	0	0	0
11:15 AM	0	0	2	0	0	0	0	0	0	0
11:30 AM	0	0	2	0	0	0	0	0	0	0
11:45 AM	0	0	2	0	0	0	0	0	0	0
Noon	0	0	2	0	0	0	0	0	0	0
12:15 AM	0	0	2	0	1	0	0	0	0	0
12:30 PM	0	0	2	0	1	0	0	0	0	0

All parking along North was residents with no church related parking

## On-Street Counts

Time	Cherry Street		Rush (North)		Rush Street (South)		Linden (South)	
	W Side	E Side	W Side	E Side	W Side	E Side	W Side	E Side
9:00 AM	1	1	1	2	1	1	2	0
9:15 AM	0	0	2	2	1	1	2	0
9:30 AM	0	0	3	5	0	1	2	0
9:45 AM	0	0	3	6	1	1	2	0
10:00 AM	0	0	3	6	0	1	2	0
10:15 AM	0	0	2	6	0	1	2	0
10:30 AM	0	0	2	1	0	1	1	0
10:45 AM	0	0	1	0	0	1	1	0
11:00 AM	0	0	0	0	1	1	1	0
11:15 AM	0	0	2	3	1	1	1	0
11:30 AM	0	0	2	6	1	1	1	0
11:45 AM	0	0	2	6	1	1	1	0
Noon	0	0	2	6	1	1	1	0
12:15 AM	0	0	0	1	0	1	1	0
12:30 PM	0	0	0	1	0	1	1	0

All resident vehicles except for Rush North

## Church Lot Counts

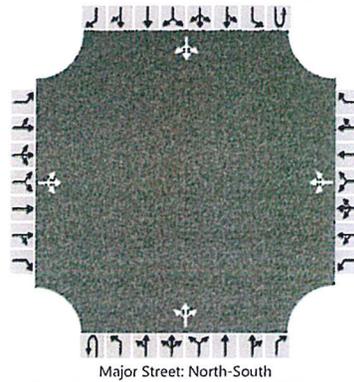
## School Counts

Time	Church	Truck
9:00 AM	27	8
9:15 AM	26	8
9:30 AM	60	8
9:45 AM	83	8
10:00 AM	92	7
10:15 AM	91	7
10:30 AM	22	7
10:45 AM	8	6
11:00 AM	25	3
11:15 AM	102	3
11:30 AM	115	0
11:45 AM	119	0
Noon	120	0
12:15 AM	85	0
12:30 PM	22	0

# HCS 2010 Two-Way Stop Control Summary Report

General Information				Site Information			
Analyst	SBC			Intersection	Arlington Hts/North		
Agency/Co.	Eriksson Engineering			Jurisdiction	Itasca		
Date Performed	10/19/2015			East/West Street	North Street		
Analysis Year	2015			North/South Street	Atlington Heights Road		
Time Analyzed	10:15-11:15 AM			Peak Hour Factor	0.87		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	Existing 2-Way Peak						

## Lanes



## Vehicle Volumes and Adjustments

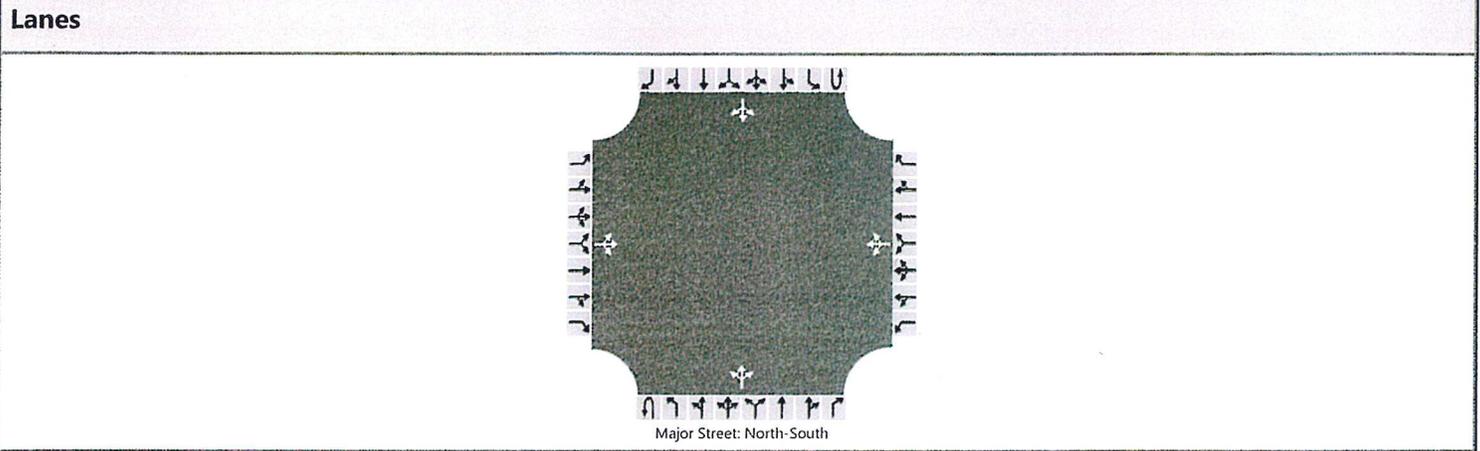
Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		13	4	1		8	5	12		1	71	8		4	70	23
Percent Heavy Vehicles		3	3	3		3	3	3		3				3		
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

## Delay, Queue Length, and Level of Service

Flow Rate (veh/h)			21				29				1				5	
Capacity			704				791				1463				1469	
v/c Ratio			0.03				0.04				0.00				0.00	
95% Queue Length			0.1				0.1				0.0				0.0	
Control Delay (s/veh)			10.3				9.7				7.5				7.5	
Level of Service (LOS)			B				A				A				A	
Approach Delay (s/veh)	10.3				9.7				0.1				0.4			
Approach LOS	B				A				A				A			

# HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	SBC	Intersection	Arlington Hts/North
Agency/Co.	Eriksson Engineering	Jurisdiction	Itasca
Date Performed	10/19/2015	East/West Street	North Street
Analysis Year	2015	North/South Street	Arlington Heights Road
Time Analyzed	10:45-11:45 AM	Peak Hour Factor	0.96
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	Existing Inbound Peak		



**Vehicle Volumes and Adjustments**

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		8	3	0		13	6	5		1	85	6		5	62	26
Percent Heavy Vehicles		3	3	3		3	3	3		3				3		
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

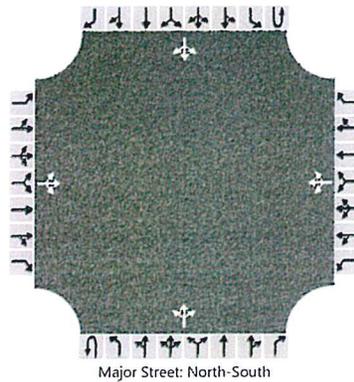
**Delay, Queue Length, and Level of Service**

Flow Rate (veh/h)			11				25				1				5	
Capacity			713				746				1480				1464	
v/c Ratio			0.02				0.03				0.00				0.00	
95% Queue Length			0.0				0.1				0.0				0.0	
Control Delay (s/veh)			10.1				10.0				7.4				7.5	
Level of Service (LOS)			B				A				A				A	
Approach Delay (s/veh)	10.1				10.0				0.1				0.4			
Approach LOS	B				A				A				A			

# HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	SBC	Intersection	Arlington Hts/North
Agency/Co.	Eriksson Engineering	Jurisdiction	Itasca
Date Performed	10/19/2015	East/West Street	North Street
Analysis Year	2015	North/South Street	Arlington Heights Road
Time Analyzed	11:30-12:30 PM	Peak Hour Factor	0.83
Intersection Orientation	North-South	Analysis Time Period (hrs)	0.25
Project Description	Existing Outbound Peak		

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	1	0		0	1	0	0	0	1	0	0	0	1	0
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		26	5	3		9	0	3		1	83	10		4	70	11
Percent Heavy Vehicles		3	3	3		3	3	3		3				3		
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

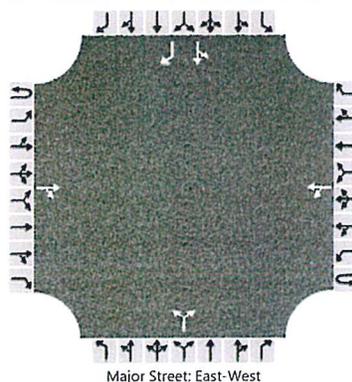
## Delay, Queue Length, and Level of Service

Flow Rate (veh/h)			41				15				1				5	
Capacity			717				740				1474				1443	
v/c Ratio			0.06				0.02				0.00				0.00	
95% Queue Length			0.2				0.1				0.0				0.0	
Control Delay (s/veh)			10.3				10.0				7.4				7.5	
Level of Service (LOS)			B				A				A				A	
Approach Delay (s/veh)	10.3				10.0				0.1				0.4			
Approach LOS	B				A				A				A			

# HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	SBC	Intersection	Cherry at North
Agency/Co.	Eriksson Engineering	Jurisdiction	Itasca
Date Performed	10/19/2015	East/West Street	North Street
Analysis Year	2015	North/South Street	Cherry Street
Time Analyzed	10:15-11:15 AM	Peak Hour Factor	0.59
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	Existing 2-way Peak		

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	1
Configuration				TR		LT					LR			LT		R
Volume (veh/h)			12	3		2	27			1		10		6	32	30
Percent Heavy Vehicles						3				3		3		3	3	3
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

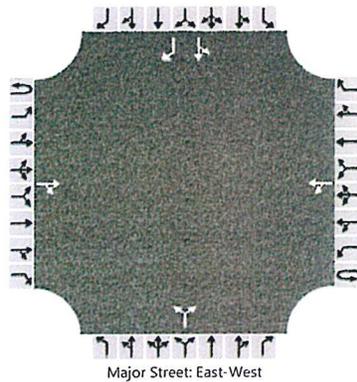
## Delay, Queue Length, and Level of Service

Flow Rate (veh/h)					49					19				64		51
Capacity					1553					965				786		978
v/c Ratio					0.03					0.02				0.08		0.05
95% Queue Length					0.0					0.1				0.3		0.2
Control Delay (s/veh)					7.3					8.8				10.0		8.9
Level of Service (LOS)					A					A				A		A
Approach Delay (s/veh)					0.5				8.8				9.4			
Approach LOS					A				A				A			

# HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	SBC	Intersection	Cherry at North
Agency/Co.	Eriksson Engineering	Jurisdiction	Itasca
Date Performed	10/19/2015	East/West Street	North Street
Analysis Year	2015	North/South Street	Cherry Street
Time Analyzed	10:45-11:45 AM	Peak Hour Factor	0.52
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	Existing Inbound Peak		

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	1
Configuration				TR		LT					LR			LT		R
Volume (veh/h)			10	1		2	30			2		1		1	3	5
Percent Heavy Vehicles						3				3		3		3	3	3
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

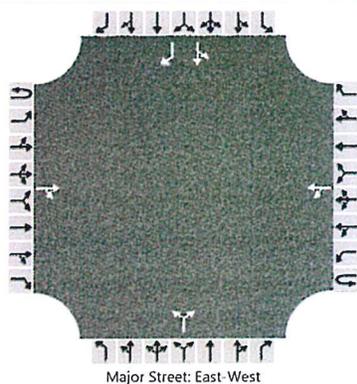
## Delay, Queue Length, and Level of Service

Flow Rate (veh/h)					62					6				8		10
Capacity					1558					881				785		963
v/c Ratio					0.04					0.01				0.01		0.01
95% Queue Length					0.0					0.0				0.0		0.0
Control Delay (s/veh)					7.3					9.1				9.6		8.8
Level of Service (LOS)					A					A				A		A
Approach Delay (s/veh)					0.5				9.1				9.1			
Approach LOS					A				A				A			

# HCS 2010 Two-Way Stop Control Summary Report

General Information				Site Information			
Analyst	SBC			Intersection	Cherry at North		
Agency/Co.	Eriksson Engineering			Jurisdiction	Itasca		
Date Performed	10/19/2015			East/West Street	North Street		
Analysis Year	2015			North/South Street	Cherry Street		
Time Analyzed	11:30-12:30 PM			Peak Hour Factor	0.46		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Existing Outbound Peak						

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	1
Configuration				TR		LT					LR			LT		R
Volume (veh/h)			13	2		1	10			1		1		20	22	38
Percent Heavy Vehicles						3				3		3		3	3	3
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

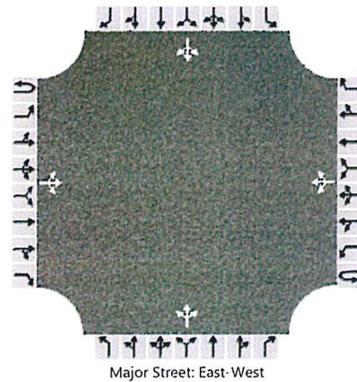
## Delay, Queue Length, and Level of Service

Flow Rate (veh/h)						24						4			91		83
Capacity						1544						827			838		1008
v/c Ratio						0.02						0.00			0.11		0.08
95% Queue Length						0.0						0.0			0.4		0.3
Control Delay (s/veh)						7.3						9.4			9.8		8.9
Level of Service (LOS)						A						A			A		A
Approach Delay (s/veh)					0.6				9.4				9.2				
Approach LOS					A				A				A				

# HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	SBC	Intersection	Rush and North
Agency/Co.	Eriksson Engineering	Jurisdiction	Itasca
Date Performed	10/19/2015	East/West Street	North Street
Analysis Year	2015	North/South Street	Rush Street
Time Analyzed	10:15-11:15 AM	Peak Hour Factor	0.55
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	Existing Inbound Peak		

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0	0	1	0		0	1	0	
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		67	8	1		3	37	18		0	18	2		5	5	19
Percent Heavy Vehicles		3				3				3	3	3		3	3	3
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

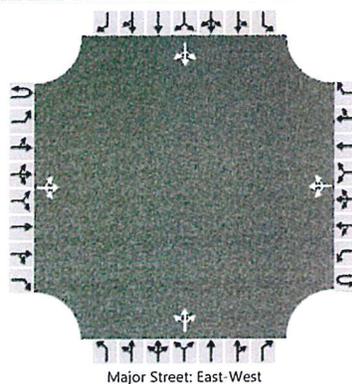
## Delay, Queue Length, and Level of Service

Flow Rate (veh/h)		122				5					37					53	
Capacity		1469				1559					520					729	
v/c Ratio		0.08				0.00					0.07					0.07	
95% Queue Length		0.3				0.0					0.2					0.2	
Control Delay (s/veh)		7.7				7.3					12.5					10.3	
Level of Service (LOS)		A				A					B					B	
Approach Delay (s/veh)		6.8				0.4				12.5				10.3			
Approach LOS		A				A				B				B			

# HCS 2010 Two-Way Stop Control Summary Report

General Information				Site Information			
Analyst	SBC			Intersection	Rush and North		
Agency/Co.	Eriksson Engineering			Jurisdiction	Itasca		
Date Performed	10/19/2015			East/West Street	North Street		
Analysis Year	2015			North/South Street	Rush Street		
Time Analyzed	10:45-11:45 AM			Peak Hour Factor	0.49		
Intersection Orientation	East-West			Analysis Time Period (hrs)	0.25		
Project Description	Existing Inbound Peak						

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Number of Lanes	0	0	1	0	0	0	1	0		0	1	0		0	1	0
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		81	8	2		2	12	23		0	25	3		0	1	3
Percent Heavy Vehicles		3				3				3	3	3		3	3	3
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

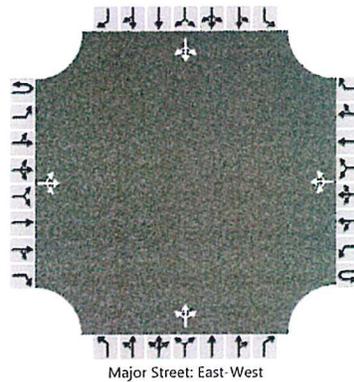
## Delay, Queue Length, and Level of Service

Flow Rate (veh/h)		165			4					57					8		
Capacity		1507			1567					477					773		
v/c Ratio		0.11			0.00					0.12					0.01		
95% Queue Length		0.4			0.0					0.4					0.0		
Control Delay (s/veh)		7.7			7.3					13.6					9.7		
Level of Service (LOS)		A			A					B					A		
Approach Delay (s/veh)		6.9				0.4				13.6				9.7			
Approach LOS		A				A				B				A			

# HCS 2010 Two-Way Stop Control Summary Report

General Information		Site Information	
Analyst	SBC	Intersection	Rush and North
Agency/Co.	Eriksson Engineering	Jurisdiction	Itasca
Date Performed	10/19/2015	East/West Street	North Street
Analysis Year	2015	North/South Street	Rush Street
Time Analyzed	11:30 AM-12:30 PM	Peak Hour Factor	0.44
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	Existing Inbound Peak		

## Lanes



## Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	1	0		0	1	0
Configuration			LTR				LTR				LTR				LTR	
Volume (veh/h)		10	5	1		4	42	3		0	1	4		6	16	15
Percent Heavy Vehicles		3				3				3	3	3		3	3	3
Proportion Time Blocked																
Right Turn Channelized	No				No				No				No			
Median Type	Undivided															
Median Storage																

## Delay, Queue Length, and Level of Service

Flow Rate (veh/h)		23			9					11					84			
Capacity		1468			1580					952					781			
v/c Ratio		0.02			0.01					0.01					0.11			
95% Queue Length		0.0			0.0					0.0					0.4			
Control Delay (s/veh)		7.5			7.3					8.8					10.2			
Level of Service (LOS)		A			A					A					B			
Approach Delay (s/veh)		4.8				0.6					8.8				10.2			
Approach LOS		A				A					A				B			



## St. Peter the Apostle Catholic Parish

### Plan Commission Submittal

December 18, 2015



JAEGER NICKOLA KUHLMAN & ASSOCIATES, LTD., ARCHITECTS  
350 S. Northwest Highway, Suite 106, Park Ridge, Illinois 60068  
Ph: 847.692.6166    [www.jnka-architects.com](http://www.jnka-architects.com)    Fax: 847.692.2002



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**Architectural Drawings**

**Landscape Drawings**

**Photometrics & Electrical Cut Sheets**

**PETITION FOR SPECIAL USE**

Village of Itasca Plan Commission  
c/o Community Development Department  
550 W. Irving Park Rd.  
Itasca, IL 60143  
(Ph): 630-773-5568 (F): 630-773-0852  
comdev@itasca.com

Date Submitted: 12/18/15

**ALL ITEMS MUST BE COMPLETE TO PROCESS APPLICATION**

Address(es) of Property: 524 N. Rush Street, Itasca, IL 60143

Owner(s) of Property: BISHOP R. DANIEL CONLON, Successor Trustee under the Provisions of a Trust Agreement dated December 31, 1949 and a/k/a the ROMAN CATHOLIC DIOCESE OF JOLIET TRUST

Petitioner(s) (if other than owners): St. Peter the Apostle Parish

Existing Use: Parish Church Zoning: R-2

P.I.N. #(s): 03-08-103-008, 03-08-200-016 Lot Size (sq. ft.): 7.93 Acres

Please answer the following questions (you may attached additional sheets if needed):

1.) Please provide a detailed description of the use requested.

St. Peter the Apostle Parish was founded in 1956 and in 1957 built what was intended to be a temporary church building. The existing church is in need of replacement and the parish is requesting special use to build a new church, gathering space, and new administration offices on a R-2 lot which will better serve the current needs of the parish community and also benefit the surrounding community as a whole. In addition to the use request, we are requesting a variance for the height of the building. The height of the tallest roof ridge in the new design is 49'-9" and the height of the dome is 62'-5". There is precedent with the existing church of having a taller structure on the site which is also keeping in the nature of the church use of the building. The existing church has a height of about 41' to the ridge and the existing metal cross is approximately 7' tall. The new church will be able to seat about 600 people and with the increase in capacity, a taller structure is proportionally fitting to the design aesthetic. The new office space will centralize existing offices and provide an efficient administration space for the parish. The gathering space will provide a much needed central gathering space for parish and community activities.

2.) Please explain how the special use requested is in the interest of the public and is not solely for the interest of the applicant.

St. Peter the Apostle Church is the only Catholic church in the Itasca Community. More than 1,200 families are registered members of the parish. The positive effects of the parish's impact on the surrounding community will be felt by Catholic and non-Catholic alike. The church will bring bring a beautiful and stately building that will be a landmark and an anchor in the community. The new parish facilities will also have a gathering space that will be able to be rented out for weddings or other potential venues in the community.

3.) Explain the reasons why the special use is necessary or desirable for the public convenience and how it will contribute to the general welfare of the neighborhood or community at this location.

St. Peter the Apostle church serves and reaches many in the community. As a Catholic church the parish is always there, as they have been for nearly 60 years, to aid those in the community who need help and support both the spiritual and physical well being of the community. The new parish facilities will allow the church to carry out this same mission with additional space and updated facilities which will be fully accessible and more energy efficient than the existing building.

- 4.) Will the special use be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity? Please explain your answer.

No. Having a place to worship during the day and on weekends proves to be beneficial to the health and welfare of a community. There is a youth ministry at St. Peters which strives to promote personal and spiritual growth of young members of the community. St. Peters also acts as a charitable outreach to the community. As one example, there is a strong Knights of Columbus Council which provides charitable services and volunteer opportunities to the community. They have supported the Itasca Food Pantry, Ups for DownS for children with Down syndrome, donated wheelchairs for Veterans, and have preformed many other benifitial services to the Itasca Community.

- 5.) What effect will the use have on property values and improvements in the vicinity? Please explain your answer.

Property values generally increase when there is a vibrant and visual Christian community. Visitors as well as perspective buyers frequently investigate the local churches in the community when considering a home. This Church project is planned as a beautiful construction replacing what was meant as a temporary facility almost 60 years ago.

---

Owner's Name(s): BISHOP R. DANIEL CONLON, Successor Trustee under the Provisions of a Trust Agreement dated December 31, 1949 and a/k/a the ROMAN CATHOLIC DIOCESE OF JOLIET TRUST

Address: 16555 Weber Road Phone: 815-221-6195  
Crest Hill, IL 60403 Email: cnye@dioceseofjoliet.org

Petitioner's Name(s): Rev. Slawomir Ignasik

Address(es): 524 N. Rush Street Phone: 630-773-1272 ext. 208  
Itasca, IL 60143 Email: pastor@stpeteritasca.com

Agent or Attorney (if applicable)

Site Planner or Engineer (if applicable)

Name: David Kuhlman, AIA, NCARB, ALA

Name: Spencer Craig

Firm: Jaeger Nickola Kuhlman & Associates

Firm: Eriksson Engineering Associates, Ltd

Address: 350 S. Northwest Highway, Suite 106  
Park Ridge, IL 60068

Address: 145 Commerce Drive, Suite A  
Grayslake, IL

Phone: 847-692-6166

Phone: 847-223-4304

Email: dkuhlman@jnka-architects.com,  
kmanning@jnka-architects.com

Email: scraig@eea-ltd.com

Please attach the following:

- Legal description of property (from title policy or plat of survey) – required for all variances.
- Current plat of survey (showing all site improvements/structures and easements).
- Architectural renderings of new or altered structures (if applicable).
- Site Plan (drawn to scale showing buildings, parking spaces, storm water detention and all other significant data with all pertinent dimensions fully noted).
- If held in trust, letter naming all beneficiaries of the trust and authorizing the below signed person to act on the matters related to the petition request. The letter must be signed by all beneficiaries of the trust.

---

THE LEGAL TITLEHOLDER MUST SIGN THE PETITION. Where the property is held in trust, the trust officer must sign the petition and include a letter naming all beneficiaries of the trust and authorizing the below signed person to act on the matters related to this petition request. The undersigned acknowledges and agrees that this application and all documentation submitted becomes public record and may be viewed by the public.

I/WE \_\_\_\_\_ DO HEREBY CERTIFY OR AFFIRM THAT I/WE ARE THE OWNER(S) OF RECORD OF THE AFORESAID DESCRIBED PROPERTY AND HEREBY MADE APPLICATION AS SUCH.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**SUBSCRIBED AND SWORN TO**

BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
**NOTARY PUBLIC**



**Village of Itasca**  
**Community Development Department**  
 550 WEST IRVING PARK RD. ITASCA, IL 60143  
 PHONE: 630/773-5568; FAX: 630/773-0852  
 www.itasca.com

**CONSULTANT SERVICES AGREEMENT**

Pursuant to Section 4.05(5) of the Village of Itasca Zoning Ordinance, the Village of Itasca may use the services of professional consultants for research, investigation and professional opinion in the processing of any application.

Section 4.04(5) of the Itasca Zoning Ordinance:

*CONSULTANTS: The Plan Commission/Zoning Board of Appeals and the Village Board may utilize the services of professional consultants for research, investigation, and professional opinion, for assistance in arriving at recommendations or decisions. The applicant whose request to the Plan Commission/Zoning Board of Appeals, or Village Board, requires the use of such professional services, shall reimburse the Village the reasonable cost it incurred for the services rendered by its consultants within ten (10) days after the submission of the bill by the Village. The consultants shall bill for their services at the same hourly rate which they normally charge municipal clients. The Village consultants shall include but no be limited to the persons who provide the Village with advice in the field of engineering, law, planning, traffic, design, finance, and court reporters.*

**I/We the applicant(s) understand that when the services of a consultant are utilized in accordance with the above section for research, investigation, professional opinion or other assistance, I/we shall pay all costs incurred within ten (10) days of submission of a bill by the Village of Itasca.**

ST. PETER THE APOSTLE PARISH  
REV. SLAWOMIR IGNASIK  
 Name of Applicant

524 N. RUSH ST.  
 Street Address

ITASCA, IL                      60143  
 City                                      State      Zip

630-773-1272 EXT. 208  
 Telephone

PASTOR@STPETERITASCA.COM  
 E-Mail

Fr. Slawomir Ignasik  
 Signature of Applicant

JAEGER, NICKOLA KUHLMAN & ASSOCIATES  
DAVID KUHLMAN, AIA, NCARB, AIA  
 Agent or Attorney (if applicable)

350 S. NORTHWEST HIGHWAY SUITE 106  
 Street Address

PARK RIDGE                      FL                      60068  
 City                                      State      Zip

847-692-6166  
 Telephone

dkuhlman@jnka-architects.com  
Kmanning@jnka-architects.com  
 E-Mail

Date: 12/18/2015

Please indicate who the bills for the costs incurred for the petition should be sent to.

Applicant:       Agent:       Other:

*If other, please complete the below information.*

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-Mail: \_\_\_\_\_



December 18, 2015

**St. Peter the Apostle Parish**

**Current Legal Description**

Lot One in St. Peter's subdivision, being a subdivision of part of the North half of Section 8, Township 40 North, Range 11, East of the Third Principal Meridian, in DuPage County, Village of Itasca, Illinois.

Contains 7.93 Acres



This is to testify that  
Bishop R. Daniel Conlon  
was solemnly installed  
as  
Fifth Bishop of Joliet-in-Illinois  
by  
His Eminence Francis Cardinal George, OMI  
Metropolitan, Province of Chicago  
in the presence of  
Msgr. Jean-Francois Lantheaume  
Charge d' Affaires, a.i.  
Thursday, July 14, 2011  
2:00 p.m.  
Cathedral of St. Ramond Nonnatus  
Joliet, Illinois

  
Sister Judith A. Davies, OSF  
Chancellor

Given at the Chancery  
this 30th day of  
December, 2011.

**BENEDICT**  
**BISHOP**  
**SERVANT OF THE SERVANTS OF GOD**

TO OUR VENERABLE BROTHER **ROBERT DANIEL CONLON**, UNTIL NOW BISHOP OF STEUBENVILLE, APPOINTED ORDINARY OF THE DIOCESE OF JOLIET IN ILLINOIS, GREETINGS AND APOSTOLIC BLESSING.

WE, WHO, BY DIVINE MANDATE, GOVERN THE LORD'S ENTIRE FLOCK, SPREAD THROUGHOUT THE WORLD, STRIVE CAREFULLY, ATTENTIVELY AND PROMPTLY TO PROVIDE SUITABLY FOR THE SPIRITUAL WELL-BEING OF CHRIST'S FAITHFUL. FOR THIS REASON, WHEN OUR VENERABLE BROTHER JAMES PETER SARTAIN, THE MOST RECENT BISHOP OF THE CHURCH OF JOLIET IN ILLINOIS, WAS TRANSFERRED TO THE METROPOLITAN SEE OF SEATTLE, WE HASTENED TO ENTRUST TO THIS ECCLESIASTICAL COMMUNITY, IN AS TIMELY A FASHION AS POSSIBLE, A NEW ORDINARY. INDEED, YOU, VENERABLE BROTHER, WHO UP TO NOW HAVE EXERCISED A FRUITFUL MINISTRY AMONG THE FLOCK OF STEUBENVILLE, SEEMED TO US TO BE ONE WHO COULD CONTRIBUTE A GREAT DEAL TO THIS COMMUNITY, CURRENTLY IN NEED OF A SHEPHERD, SO THAT THE PEOPLE IN THAT PART OF "THE LAND OF LINCOLN" MIGHT CONTINUE TO ABIDE IN GOD'S GRACE (CF. ROMANS 11,22).

THEREFORE, ACCEPTING THE ADVICE OF THE CONGREGATION FOR BISHOPS, BY OUR APOSTOLIC AUTHORITY, WE RELEASE YOU FROM THE BOND OF THE CHURCH IN STEUBENVILLE, AND WE NAME AND APPOINT YOU BISHOP OF THE DIOCESE OF **JOLIET IN ILLINOIS**, GRANTING TO YOU THE OBLIGATIONS AND RIGHTS PRESCRIBED IN CANON LAW. MOREOVER, WE DESIRE THAT THE CLERGY AND THE PEOPLE OF YOUR DIOCESE BE INFORMED ABOUT THIS OUR MANDATE AND DECISION, AND ALSO THAT THEY READILY WELCOME YOU AS THEIR SHEPHERD AND GUARDIAN OF THE TRUTH.

FINALLY, VENERABLE BROTHER, ALTHOUGH YOU HAVE BEEN APPOINTED TO GO FROM ONE SEE TO ANOTHER, "DO NOT BE AFRAID" (DANIEL 10,19); SEE TO IT THAT THE FIRE OF DIVINE LOVE SENT BY THE LORD UPON THE EARTH MAY BE SO ENKINDLED AMONG THE PEOPLE OF JOLIET THAT THEY MAY KNOW CLEARLY THE WONDERS OF GOD THROUGH FAITH, HOPE AND LOVE.

GIVEN AT ROME, AT ST. PETER'S, ON THE SEVENTEENTH DAY OF THE MONTH OF MAY, IN THE YEAR OF THE LORD TWO THOUSAND ELEVEN, THE SEVENTH OF OUR PONTIFICATE.

**POPE BENEDICT XVI**

Francesco Di Felice,  
Protonotary Apostolic

**TRUST AGREEMENT**

WITH APPENDIX A ATTACHED

—  
**DIOCESE OF JOLIET**  
—

**DATED: DECEMBER 31, 1949**

**THIS AGREEMENT** made and entered into this 31st day of December, A. D., 1949, by and between **THE CATHOLIC BISHOP OF CHICAGO**, a corporation sole, created and existing under and by virtue of a Special Act of the Legislature of the State of Illinois: and **MARTIN D. McNAMARA**, Bishop of the Roman Catholic Diocese of Joliet, in the State of Illinois,

**WITNESSETH:**

**WHEREAS** the Roman Catholic Diocese of Joliet in the State of Illinois (hereinafter sometimes called the Diocese of Joliet), was recently canonically erected by the Holy See and Martin D. McNamara has been canonically appointed and consecrated and is now acting as Bishop of said Diocese, and has assumed canonical possession of said Diocese and of all of the property within said Diocese; and

**WHEREAS** the greater portion of the property both real, personal and mixed, located within the said Diocese of Joliet was, prior to the erection of the said Diocese of Joliet, a part of the Archdiocese of Chicago, and the title and ownership thereto is now vested in The Catholic Bishop of Chicago, a corporation sole; and

**WHEREAS** all of the property in the Diocese of Joliet, immediately upon the assumption of possession thereof by the Bishop of the Diocese of Joliet, became subject to his management, administration and control; and

**WHEREAS** The Catholic Bishop of Chicago, a corporation sole, is about to convey, transfer, assign and deliver to Martin D. McNamara, Bishop of the Diocese of Joliet, all of the property in said Diocese owned by it and described in Appendix "A" attached hereto and made a part hereof (hereinafter called the trust fund).

Now, **THEREFORE**, Martin D. McNamara does hereby certify that when he will take title thereto or to any other property real, personal or mixed assigned, transferred or conveyed to him as Trustee hereunder, he will hold it together with all rents, income or profits therefrom, and all additions and accumulations thereto (hereinafter called the trust estate) in trust for the use and benefit of the said Roman

Catholic Diocese of Joliet in the State of Illinois, its parishes and institutions and for the religious, educational or charitable purposes of said Diocese, parishes and institutions, subject only to any restrictions contained in particular gifts, devises, bequests and conveyances and subject to the usages and Canon law controlling the Diocese of Joliet.

Insofar as any of the said property is restricted to a special institution, parochial or diocesan purpose, such restriction is shown by the records in the Chancery Office of the Diocese of Joliet.

#### ARTICLE ONE

1. The trust hereby created shall be known by the name of "ROMAN CATHOLIC DIOCESE OF JOLIET" or by such other name or names as the Trustee may from time to time designate.

2. The term "Trustee" as used herein means the said Martin D. McNamara in his capacity as Trustee hereunder, and each of his successors in trust hereinafter provided for in his capacity as Trustee thereunder.

#### ARTICLE TWO

The Trustee shall hold, manage and control the trust estate and shall have full power and authority,

(1) to collect and sue for and to receive and receipt for all income of the trust estate, and all other property and money to which the Trustee may be or become entitled, and to commence and prosecute any and all actions, suits or other proceedings which the Trustee shall deem necessary or advisable;

(2) to defend, compound, compromise, abandon or adjust by arbitration or otherwise any actions, suits, proceedings, disputes, claims, demands and things relating to the trust estate or to the trusts herein declared;

(3) to pay and discharge all indebtedness and obligations of and claims against the Trustee or the trust estate or any part thereof, and to pay and discharge all assessments, levies and charges of every kind which may at any time be payable by the Trustee or be levied or assessed against or constitute a claim against or lien upon the trust estate or any part thereof, and to pay the costs of administration of the trust estate and of the trusts herein declared, including reimbursement for outlays by the Trustee hereunder and

all other costs and expenses incurred in the exercise of the powers herein given to the Trustee;

(4) to deposit money with any bank or trust company, subject to withdrawal by the Trustee, or by some other person or persons duly authorized by the Trustee so to do, and to withdraw such money from time to time for the purposes of the trusts herein declared; but no such bank or trust company shall be required to see to the application of any money withdrawn by the Trustee or such other person duly authorized by him, and every such bank and trust company shall be fully protected in honoring any check or order of withdrawal signed by the Trustee or such other person duly authorized by him, irrespective of who the payee may be, and irrespective of the fact that the Trustee may be named as payee therein, or that the money so withdrawn may be deposited to the individual account of the Trustee;

(5) to invest and reinvest all or any part of the trust estate in real property, improved or unimproved and wheresoever situated, and in personal property of every kind, character and description, including (without limitation of generality) first and junior mortgages on improved or unimproved real estate wheresoever situated, secured or unsecured bonds, debentures and notes of any corporations, companies, associations, trusts, partnerships or individuals, shares of stock or shares of beneficial interest listed or unlisted of any domestic or foreign corporations, companies, associations or trusts; interests in partnerships or joint adventures; chattels and interests in chattels; and every species of claim, demand and choses in action; all whether or not of the character of investment permitted by the law of the State of Illinois for the investment of trust funds; and to exercise any and all rights of subscription or conversion created or available in connection with any securities forming a part of the trust estate;

(6) to borrow money as and when the Trustee in his uncontrolled discretion shall deem it necessary or advisable, upon such terms as he shall deem advisable, and to mortgage, pledge or otherwise encumber or convey the trust estate or any part thereof, as security for the repayment of the money so borrowed;

(7) to buy or to join with any person or persons in buying any property which may be sold to enforce the lien of any mortgage, pledge or any form of security, if the Trustee shall at any time have an interest in the property so sold or in the indebtedness so secured;

(8) to contract to sell, to grant options to purchase, to sell on any terms at public or private sale and to assign, transfer, convey

and deliver all or any part of the trust estate for cash or wholly or partly on credit with or without security, or wholly or partly in exchange for other property of the kinds described in paragraph 5 of this Article; to lease all or any of the real estate held by the Trustee, by leases to commence *in praesenti* or *in futuro*, on any terms for any considerations and for any period or periods not exceeding in the case of any single demise a period of 198 years, and to amend, modify, extend or terminate any of such leases; to keep the buildings and improvements on said real estate insured and in good repair; to demolish, move, alter and reconstruct such buildings and improvements and to construct any new buildings and improvements thereon; to grant easements or charges of any kind upon said real estate and to make contracts relating thereto; to make and vacate subdivisions and resubdivisions of said real estate and to dedicate highways, streets, alleys, parks and other public places thereon; to grade, fill, curb and pave highways, streets and alleys and to improve parks and other public places; to construct sidewalks and to lay and maintain sewers, water and gas mains and pipes and to acquire any property, the ownership of which by the Trustee may appear advisable for the benefit or protection of said real estate;

(9) to exercise from time to time in such manner as the Trustee may deem advisable the voting rights of all shares of stock, shares of beneficial interest and other securities held by the Trustee; and to take any other and further actions and to give or execute any proxy, voting trust agreement, plan of reorganization or consent, which an owner of such shares or other securities could take, give or execute with the same force and effect as though the Trustee were at the time the absolute owner of such shares or other securities;

(10) to employ from time to time, in the discretion of the Trustee and at the expense of the trust estate, agents and attorneys at law or in fact for the purpose of carrying out the trust herein declared;

(11) subject always to the limitations and restrictions herein imposed, to hold, manage, control, sell, dispose of, invest, reinvest, mortgage, pledge and hypothecate the trust estate and every part thereof in all respects as if the Trustee were the absolute owner thereof.

The Trustee does hereby assume and agree to pay all existing debts and liabilities incurred in connection with the trust fund, or any part thereof, or in connection with any of the parishes or institutions constituting a part of the Diocese of Joliet.

## ARTICLE THREE

1. In general, the Trustee shall have every power and authority over the trust estate that it would have if as an individual it were the absolute owner thereof and no enumeration of special powers granted by any provision of this trust agreement shall be construed to limit any grant of general powers to either the Trustee or his successors in trust contained in, conferred by or reasonably implied from any other of the provisions of this trust agreement.

2. No insurance company issuing any life insurance policy payable to the Trustee hereunder shall be required to see to the application of the proceeds thereof; and no person loaning money to the Trustee for purchasing, leasing or otherwise acquiring any part of the trust estate from the Trustee shall be under any duty to see to the application of the money so lent or of any purchase money, rent or other considerations received by the Trustee, or to inquire into the necessity or expediency of the exercise by the Trustee of any of the powers given by this trust agreement.

3. The term "trust estate" as used herein means the trust fund and all other property and money at any time held by or paid, conveyed, assigned, transferred and delivered to the Trustee, and all additions and accumulations thereto and rents, income and profits therefrom.

## ARTICLE FOUR

1. The Pastor or the administrator of each and every Roman Catholic parish now existing or hereafter canonically erected within the Diocese of Joliet, the property of which parish is held by the Trustee under the terms of this trust agreement, and the head of each and every Roman Catholic hospital, college, school, cemetery or other institution now existing or hereafter canonically erected within said Diocese, the property of which hospital, college, school, cemetery or other institution is held by the Trustee under the terms of this trust agreement, shall have such administrative powers and authority as the Trustee may from time to time grant to him.

2. The Trustee shall have the right to grant to other persons such administrative powers and authority which he, in his discretion, shall deem necessary or advisable in administering the trust estate or any part thereof.

## ARTICLE FIVE

1. All gifts, bequests and devises made to any named parish, church or institution located in the Diocese of Joliet, the property of which parish, church or institution is held by the Trustee under the terms of this trust agreement, shall be deemed to be gifts, devises and bequests to the Trustee hereunder for the use and benefit of the particular parish, church or institution so named.

## ARTICLE SIX

1. In the event of the death of the Trustee or his inability to act as, or his ceasing for any reason to be the Bishop of the Diocese of Joliet, then the person who shall at that time be the Chancellor of the Diocese of Joliet shall be Successor Trustee hereunder until such time as an administrator is canonically selected for said Diocese; whereupon, such administrator shall be Successor Trustee hereunder until such time as a Successor Bishop for said Diocese shall have been canonically appointed and shall have assumed canonical possession; whereupon, such Successor Bishop shall be Successor Trustee hereunder.

2. In order to provide for an uninterrupted and perpetual succession of Trustees hereunder, the method for providing for the selecting of trustees hereunder shall apply in exactly the same manner to each and every successor to the office of Bishop in the regular line of succession of Roman Catholic Bishops in the Diocese of Joliet in Illinois, so that in the event of the death of any successor Bishop, or of his inability to act as, or his ceasing for any reason to be the Bishop of the Diocese of Joliet, then the person who shall at that time be the Chancellor of the Diocese of Joliet shall be the Successor Trustee hereunder until such time as an administrator is canonically selected for said Diocese; whereupon, such administrator shall be Successor Trustee hereunder until such time as a Successor Bishop for such Diocese shall have been canonically appointed and shall have assumed canonical possession; whereupon, such Successor Bishop shall be Successor Trustee hereunder.

3. If for any reason not now known or which cannot now be foreseen, a temporary or permanent Successor Trustee hereunder cannot be selected as hereinabove provided, then in case of any vacancy a Successor Trustee shall be appointed by the person who shall at the time be occupying the office of Archbishop or canonical Administrator of the Roman Catholic Archdiocese of Chicago, Illinois. Such power of appointment shall not be exhausted by a single exercise thereof, but shall

be a continuing power and may be exercised from time to time as occasion may require. To further insure an uninterrupted and perpetual succession of trustees hereunder, it is hereby provided that if a dispute or uncertainty shall arise as to who shall be trustee hereunder, then in such case, the person who shall at the time be occupying the office of the Archbishop or canonical Administrator of the Roman Catholic Archdiocese of Chicago, Illinois, shall appoint a Successor Trustee for the interim until the dispute shall have been settled or the uncertainty shall have been removed, or a Successor Trustee is selected as hereinabove provided. Such power of appointment shall not be exhausted by a a single exercise thereof, but shall be a continuing power and may be exercised from time to time as occasion requires.

4. All right, title and interest of the Trustee in and to the trust estate and all powers, rights, privileges, liabilities, duties and obligations, discretionary and otherwise, hereby given to and imposed upon the Trustee hereunder shall become and be vested and imposed upon his Successors, including any Chancellor or administrator.

No Successor Trustee at any time herein or otherwise appointed shall be required to demand or enforce any accounting of the trust hereby created, against the prior Trustee or his executors or administrators, and upon such succession the Successor Trustee shall be accountable only for such assets as come into his possession.

ARTICLE SEVEN

This trust agreement may be amended or modified by the Trustee at any time and from time to time; provided that no such amendment or modification shall change the uses and purposes of the trust herein expressed.

IN WITNESS WHEREOF, The CATHOLIC BISHOP OF CHICAGO, a corporation sole, has caused these presents to be signed by SAMUEL A. STITCH, Archbishop of Chicago, and its corporate seal to be hereto affixed; and MARTIN D. McNAMARA has hereunto set his hand and seal the day and year first above written.

THE CATHOLIC BISHOP OF CHICAGO,  
a Corporation Sole

By *Samuel A. Stich*  
.....  
Archbishop of Chicago

*+ Martin D. McNamara* (SEAL)

STATE OF ILLINOIS, } ss. 733507  
Will County, } No.....

I hereby certify that the within instrument was filed for .....record in the office of the Recorder of Deeds in the County aforesaid, on the 5 day of October A. D., 1953, at 3:25 o'clock P. M., and recorded in book 1447 page 599

*Robert S. J. [Signature]*  
Recorder of Deeds.

Fee 4.20 Paid

# Certificate of Death Record

NAME OF DECEASED <u>Bishop Martin D. McNamara</u>		DATE OF DEATH <u>May 23, 1966</u>	SEX <u>Male</u>
PLACE OF DEATH <u>Rochester, Minnesota</u>			COLOR OR RACE <u>White</u>
USUAL RESIDENCE <u>Joliet, Illinois</u>		PLACE OF BIRTH <u>Illinois</u>	MARITAL STATUS <u>Never Married</u>
DATE OF BIRTH <u>May 12, 1898</u>	NAME OF SPOUSE -----	NAME OF MOTHER -----	SOCIAL SECURITY NUMBER -----
NAME OF FATHER -----	MAIDEN NAME OF MOTHER -----	DATE OF FILING <u>6-1-66</u>	

State of Minnesota  
County of Olmsted

## DISTRICT COURT

I, John F. McCally, Third Judicial District

in and for the County and State aforesaid do hereby certify that the above is a complete and correct copy of the death record as appears in Death Record Book No. 121, section 6, of the records of this office.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seal of said court at Rochester, Minnesota

this 26th day of March, 1979

John F. McCally  
Clerk of the District Court

By W. G. C. [Signature] Deputy





## Village of Itasca Community Development Department

55<sup>0</sup> WEST IRVING PARK RD. ITASCA, IL 60143

PHONE: 630/773-5568 FAX: 630/773-0852 e-

mail: [smalik@itasca.com](mailto:smalik@itasca.com)

[www.itasca.com](http://www.itasca.com)

### MEMORANDUM

**TO:** Kevin Manning  
**FROM:** Shannon L. Malik, AICP  
Planner III  
**RE:** 524 N. Rush St.  
St. Peter the Apostle  
New Church Building  
**DATE:** December 8, 2015  
**CC:** Nancy Hill, AICP

The Village of Itasca is in receipt of the preliminary plans for the proposed new church building for St. Peter the Apostle, located at 524 N. Rush Street. The property is zoned R-2 Single Family Residence District. A preliminary planning review has been completed based on the submitted documents which include the following:

- Site Plans- Options E and H
- Boundary and Topographic Survey prepared by Leslie Aaron Doogs, dated June 26, 2015
- Revised Front Elevation prepared by Jaeger Nicola Kuhlman, dated November 10, 2015
- Floor Plan prepared by Jaeger Nicola Kuhlman, dated November 10, 2015

This memo is intended to summarize items which need to be addressed prior to submitting for Plan Commission consideration in order to ensure the best possible outcome during the Public Hearing process.

#### Anticipated Plan Commission/Village Board requests at this time:

1. Special Use for a church in the R-2 Single Family Residence District
2. Variance for the height of a principal structure in the R-2 Single Family Residence District
3. Class I Site Plan Review for the purpose of constructing a new church building
4. Plat of dedication for a portion of Rush Street

#### Review comments

##### A. General

1. The project must comply with all Village Ordinances, Building Codes, Subdivision Regulations, and Standard Specifications in place at the time of permit application.
2. Incorporate review comments from engineering memo prepared by Amy S. McKenna, PE, dated November 30, 2015.
3. Incorporate Itasca Fire District review comments prepared by Leigh Fabbri from memo dated November 22, 2015.
4. Please be advised that this project is under the jurisdiction of the DuPage County Stormwater Ordinance.
5. All approvals are subject to Final Engineering approval.
6. Any trees lost as a result of construction at this site must be replaced as required.

## **B. Site Plan revisions requested**

1. Provide breakdown of impervious surface area by type of improvement (i.e.- proposed church, existing outbuildings, parking lot, emergency access drive, sidewalk, etc.). **The requested calculations have been provided on the site plan exhibits.**
2. Add bicycle parking; review Section 12.09(4) of the Zoning Ordinance for information on the suggested rack style. **Bicycle racks will be included (location indicated on the site plan exhibit).**
3. Provide a table indicating building setback requirements. **The table is provided on the Architectural Site Plan sheet.**
4. Show drive aisle width on site plan, ensure conformance with minimum width of 24' in all locations. **Driving aisles have been dimensioned to illustrate conformance with the 24' minimum width.**
5. Show parking stall width on site plan, ensure conformance with minimum 9'x18' dimensions. **Parking stall dimensions have been included to illustrate conformance with the 9'x18' requirement.**
6. Specify the type of material to be used for the emergency access drive. The design must show that it is capable of supporting a vehicle weighing 80,000 pounds, but please also keep in mind that it is very likely that pedestrians will also be using this in order to access the church from Bryn Mawr, so the selected material should also be pedestrian friendly and easy to keep clear of snow. **The emergency access drive will be an asphalt section designed to support the indicated load.**
7. The Park District seemed to indicate that the ball field as proposed would be too small for their use. They also had concerns with the proposed location, as it faces a Park District walking path along the east side yard of Peacock Park, and the possibility of injuries exist. Further, Village staff has concerns with the location of the proposed stormwater detention and its proximity to this ballfield. Please eliminate the ballfield based on these comments or work with the Park District to come up with an alternative. **The ball field has been removed from the plan.**
8. Please work with the Park District to come to an agreement on the best location for a connection to the walking path along the ea
9. st side yard of Peacock Park and revise the site plan to include this feature. **As of this time, a sidewalk connection will not be included. The Parish has a limited budget and is viewing some portions of the plan such as some sidewalks as a future phase that could be added similar to the future parking indicated on the site plan.**
10. Parking and access driveways are not permitted within the front yard setback or within 5' of any property line. There is a section of parking that is located southeast of the 524 N. Rush building which appears to be located within the front yard setback, although no dimension is included. (The setback appears slightly different between Concept E and Concept H). Please revise to include the dimension on the selected plan and ensure that it meets the minimum setback requirements. **All parking has been dimensioned to indicate conformance with the code required setbacks.**

## **C. Additional documents and materials requested**

1. Provide the legal description for the subject property in its current form in a Word document emailed to smalik@itasca.com. No PDF's please. **The legal description will be sent as a Word document as requested.**
2. Provide a tree survey with accompanying table indicating the quantities, species, caliper, and quality of existing trees. **A tree survey plan will be provided in accordance with these requirements.**
3. Provide a landscaping plan with accompanying table indicating the quantities, species, and caliper of all proposed plant materials. Ensure a mix of plant materials and trees with year round interest. Include foundation plantings in an elevation schematic. **A landscaping plan will be provided in accordance to standards above.**
4. Screen each side of the parking lot with a wall, fence, or densely planted hedge pursuant to Section 12.03(10)(c) of the Zoning Ordinance. This feature can be added to either the landscape plan or the site plan, depending on what type of screening is selected. **Landscape screening is provided at the eastern boundary of the parking lot as it is the only side visible to adjacent lots. The rest of the parking abuts the parish's property and existing buildings. Cedar fence screening is supplied around the ground mounted RTU's at the north end of the new church.**

5. If lighting will be included, a photometric plan is required, including specifications on proposed lighting standards. Add shields to any perimeter standards to limit light spill over the property line. Please note, lighting cannot cross lot lines. **Photometric plan will be submitted in accordance to Village standards**
6. Provide color architectural elevations for rear and side elevations showing building materials and height to top of highest cross feature, top of copula roof, and height to the peak of each secondary roof line. **Color Architectural Elevations will be provided.**
7. Prepare a Plat of Dedication for a 33' wide strip along the 64.73' portion of Rush in front of the building addressed 519 N. Rush St. Please approach the neighbor to the west of this proposed dedication at 520 N. Rush St. about participating in this dedication. The Village will attempt to collect right of way in this area so that the Village may have the opportunity to formally continue Rush Street north of North Street in the future. In its existing configuration, the drive aisle access north of North Street is located on private property. The Village would like to eliminate this condition over the long term and avoid a situation where vehicles are parking on private residential property along the private portion of Rush St. **This process will be started concurrently with the Plan Commission process**
8. Provide construction material sample boards. **A construction material board will be provided.**
9. If St. Peter is contemplating a new signage program, provide site signage information including locations, dimensions, and method of lighting. The residential districts are extremely limited in the amount of signage permitted. Please review the Zoning Ordinance for further detail. **There is no new signage planned.**
10. As a component of the traffic study that is underway, please provide parking analysis to demonstrate how the proposed number of parking spaces will meet both peak and typical demand. Please provide some level of analysis comparing the proposed parking with other churches of similar size. **A traffic and parking study report has been provided that addresses these comments.**
11. New easements may be necessary for the water main and sanitary sewer systems. Public Works and engineering will review to determine if the locations are appropriate. **The sanitary and water lines proposed are services only. It is our understanding that only the public mains may require easements.**
12. During a preliminary meeting, it was mentioned that there may be an opportunity to provide additional parking in the future if the church's membership grows. Please provide a schematic exhibit to indicate the potential new parking field. **The land-banked parking spaces are indicated along the emergency access drive west of the proposed building.**

**Documents attached**

1. Engineering review memo from Consulting Engineer Amy S. McKenna, PE, Robinson Engineering, dated November 30, 2015.
2. Itasca Fire District review memo from Fire Prevention Bureau Director Leigh Fabbri, dated November 22, 2015.

**Process**

This proposal will require a Public Hearing before the Plan Commission. The Plan Commission meets on the third Wednesday of the month at 7pm. All materials are due based on the following schedule:

Meeting Date	Submittal Deadline
January 20, 2016	December 16, 2015
February 17, 2016	January 4, 2016*
March 16, 2016	January 29, 2016
April 20, 2016	March 4, 2016

*\*Please note that effective January 1, 2016, submittals will be due approximately six weeks prior to the Plan Commission meeting date.*

At the time that you submit revised plans for the public hearing, staff will verify that no additional planning and zoning issues have arisen.

The recommendation of the Plan Commission will be forwarded to the Village Board who will vote on the requests at a \_\_\_\_\_  
 PAVillage hall public\comdev\STREETS\06\_Streets N-Z\Rush\ N\_524 \St Peter the Apostle- New Church Building \St. Peter Preliminary

regular meeting. Staff will be in contact with you as all meeting dates are established and may request additional information between meetings.

We look forward to continuing to work together on this project. Please do not hesitate to contact me with any questions. I can be reached at [smalik@itasca.com](mailto:smalik@itasca.com) or 630-228-5671.

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**ITASCA FIRE PROTECTION DISTRICT NO. 1  
520 W. IRVING PARK ROAD, ITASCA, IL 60143**

**James F. Burke, Jr. Fire  
Chief Administration:  
630-773-1223 Fire  
Prevention: 630-773-1240  
Fax: 630-773-3381**

November 22, 2015

To: Ms. Shannon Malik

From: Leigh Fabbri, Director Bureau  
of Fire Prevention

Subject: St. Peter the Apostle Parish  
524 N Rush Street  
Proposed New Church and Site Improvements

I have reviewed the preliminary plans that were sent via email on November 17, 2015 for the new Church and Site Improvements. The Itasca Fire District comments are:

- The Fire District has no objections to either option H or E
- The fire district is concerned that not enough parking is provided, which will lead to problems during peak attendance  
**A traffic and parking study report has been provided that addresses this concern.**
  - Maximum occupant load is 728 people, which gives a parking ratio of 1 space per 4.73 people
  - Discounting the Gathering Area from the maximum occupant load gives a parking ratio of 1 space per 3.97 people
- Provide sufficient turning radius for fire apparatus access to the building in accordance with the included specifications for the tower. **AutoTurn exhibits have been provided that illustrate sufficient access has been provided.**
- Provide sufficient turning radius for fire apparatus access throughout the parking lots in accordance with the included specifications for the engine **AutoTurn exhibits have been provided that illustrate sufficient access has been provided.**
- Verify that any route within the site that is part of the fire department access is design to support a 80,000-pound vehicle weight **A heavy duty asphalt pavement section has been specified for the route to be used by the fire engine (refer to site plan exhibits).**

Please feel free to contact me with any questions.

Sincerely,  
Leigh Fabbri

# Robinson Engineering

*Municipal Expertise. Community Commitment.*

**TO:** Nancy Hill, Director of Community Development,  
Shannon Malik, Planner III

**FROM:** Amy S. McKenna, PE, Consulting Engineer

**DATE:** November 30, 2015

**RE:** St. Peter the Apostle Church  
Site Plan Review

We received the following items:

- Site Plan Options E and H
- Floor Plan and Front Elevation prepared by JNKA Architects, dated 11/10/15

Based on the information provided by the applicant and the available records at this time, we offer the following comments and concerns as they relate to the civil engineering-related items:

## 1. Site and Parking Lot Improvements

- 1.1. The applicant should submit a traffic study to show the impact of this project on traffic circulation on the existing roadways in the area. It is our understanding that a traffic study is underway. **A traffic and parking study report has been provided that addresses this comment.**
- 1.2. Any proposed monument signs cannot limit sight distance for vehicles at the driveways. **There is no new monument sign proposed.**
- 1.3. **Variance required** - Bicycle parking is required in accordance with Section 12.09 of the Zoning Ordinance. We do not know whether the applicant intends to seek a variance or provide bicycle parking. **No variance required. Bicycle racks will be included (location indicated on the site plan exhibit).**
- 1.4. Identify the location of any proposed trash collection area, provide appropriate heavy-duty pavement in that area, and demonstrate that the trash collection vehicles have sufficient room to circulate. **The existing trash enclosure area will be maintained. Since garbage collection takes place during the week when the parking lot will be empty, there will be sufficient room to circulate.**
- 1.5. During final engineering, provide a turning movement exhibit demonstrating that a fire truck can navigate that access route without encroaching over the curb and gutter or into adjacent parking spaces. Parking lot geometry might need to be modified to allow fire truck movement. **AutoTurn exhibits have been provided that illustrate sufficient access has been provided.**
- 1.6. The applicant should consider pedestrian movement through the proposed parking lot and other church buildings. Currently, Option E appears to be more pedestrian-friendly; the proposed islands and crosswalks provide a more direct pedestrian connect between the school and the church building. Show sidewalk extensions between existing church buildings and the proposed parking lot and sidewalk. **Option E is the plan that has been selected by the parish. The sidewalks indicated on the site plan are as preferred by the parish.**
- 1.7. **Variance required** - Parking spaces should be 9 feet by 18 feet with drive aisles of 24 feet in width. There are no dimensions on the site plans, but some of the drive aisles measure less than 24 feet. **No variance required. Driving aisles have been dimensioned to illustrate conformance with the 24' minimum width. Parking stall dimensions have been included to illustrate conformance with the 9'x18' requirement.**

- 1.8. **Variance required** - B-6.12 curb and gutter is required around the perimeter of parking lots per Section 12.06 of the Zoning Ordinance and Section 6.03 B.1.c of the Development Standards and Specifications. Section 6.03 B.1.c also requires that curb be constructed around the perimeter of all islands within parking lots. **The proposed plan is to provide B-6.12 curb and gutter along sidewalks and around the parking lot bio-swales. The sides of the parking lot are to match existing conditions, which does not include curbs and gutters. Curb cuts (openings) will be provided to allow parking lot sheet drainage to enter the bio-swales. The central bio-swales are provided in lieu of the end islands and provide almost 1.8 times the landscape area as what would be provided by end islands. Providing curbs along the entire perimeter will also prove to be a financial hardship for the parish at this time as there has been a great increase in site costs since the beginning of the project due to the existing site/soil conditions.**
- 1.9. On Option H, the sidewalk in front of the accessible stalls is very narrow. A minimum 36-inch path must be provided. Wheel stops should be provided as appropriate to limit vehicle overhang. **The sidewalk adjacent to the accessible parking stalls has been dimensioned to show the required width has been provided.**
- 1.10. A driveway apron and depressed curb should be provided on Bryn Mawr such that the fire truck movement can be made entirely on the pavement. On Option H, the driveway should not be labeled "Emergency Access Only" if parking is proposed. Village staff has previously discussed installation of measures limiting access to the driveway with the applicant. **The AutoTurn exhibits show access to and from Bryn Mawr. The applicant will work with village staff regarding the method of limiting access to the driveway.**
- 1.11. On Option H, provide additional pavement to provide ample room for a vehicle backing out of the southernmost parking space along the Bryn Mawr access drive and the parking space at the northeast corner of the lot. Also, adjacent to the southernmost parking space along the Bryn Mawr access drive, the sidewalk should be raised above the parking lot pavement (or curb should be provided) to keep vehicles from crossing the sidewalk. **Option H is no longer being considered by the applicant.**

## 2. Utility Improvements

- 2.1. The proposed utility connection locations are acceptable. The Village will require that the church dedicate utility easements for the existing sanitary sewer and water main through the site. Provide copies of any known easements or other documents governing these utilities. **The sanitary and water lines proposed are services only. It is our understanding that only the public mains may require easements.**

- 2.2. On Option H, provide protection for the fire hydrant at the southwest corner of the building. It is unclear whether this will be within pavement or grassy area. Curb and/or bollards will be required to keep vehicles from striking the hydrant. **Option H is no longer being considered by the applicant.**
- 2.3. We recommend that the sanitary sewer service be located such that structures do not fall within the typical wheel paths of vehicles (i.e. center of drive aisle is better than in one lane or the other). **This comment can be addressed at the time of final engineering.**
- 2.4. The outfall flared end section for the proposed detention pond should not be installed directly over the water main. **The grading of the detention basin has been modified to ensure the flared end section is not located over the water main. Another design is also being considered in which the discharge from the detention basin would be tied directly into the existing catch basin on the adjacent property about 14' west of the property. This would eliminate the surface discharge that would flow directly to the catch basin anyway. It would also allow for the installation of under drains below the bottom of the detention basin. It is understood that an agreement would need to be reached between the applicant and the neighboring property owner in order to pursue this design option.**

### **3. Stormwater Management Improvements**

- 3.1. Site runoff storage (detention) per Section 15-72 of the DuPage County Stormwater and Floodplain Ordinance will be required because there will be a cumulative increase of greater than 25,000 SF in impervious area. **So noted.**
- 3.2. **Variance required** - The grading of the bottom of the detention pond should be adjusted to provide adequate drainage if turf grass is proposed. The Village standards (Section 6.05 G.2.c.) require a 2% bottom slope. **The grading of the detention basin has been modified to illustrate a minimum bottom slope of 2.0%.**
- 3.3. The site design appears to incorporate BMP measures, as required in the DuPage County Stormwater and Floodplain Ordinance, because the net new impervious area exceeds 2,500 square feet with the proposed site plan options. The engineer should review the Countywide stormwater ordinance and consult the County's BMP Manual for guidance during final engineering. The following comments also pertain to BMP design:
  - The design of the BMPs should consider all tributary flow; they can be designed to either bypass or treat off-site flows. **So noted and will be addressed at the time of final engineering.**
  - BMPs for volume control should be designed for a 48-hour retention time; soil analysis is necessary to determine infiltration below dry wells. **So noted and will be addressed at the time of final engineering.**
  - The design should also include a long-term maintenance plan and guidelines for planting and maintenance of landscaping. Address use of porous soils and treatment during and after construction; compaction may render some porous soils more impervious. **So noted and will be addressed at the time of final**

**engineering. Planting & maintenance guidelines are provided on Landscaping Plans.**

- 3.4. The Village will require that the church dedicate a stormwater management over any BMP/detention facilities. **So noted.**
- 3.5. During final engineering, the engineer should provide a stormwater management report to include a narrative and all pertinent storm sewer sizing and stormwater management design calculations. The engineer should address how flow will enter the bioswale areas and provide sizing calculations for any proposed curb cuts. The report and engineering plans should also provide detailed information about the overflow routes through the site and off-site from the detention pond. **So noted.**

*This review is only for general conformance with the design criteria established by the Village and is subject to both the completeness of the information submitted by the developer's professional staff and also the actual ability of the plan to perform in accordance with its intent. Actual field conditions may vary and additional items may arise which are not readily apparent based on this submittal. The developer's design professionals are responsible for performing and checking all design computations, dimensions, and details relating to design, construction, compliance with all applicable codes and regulations, and obtaining all permits. Additionally, other bodies of government may have jurisdiction over various aspects of this development. The developer should be advised that additional measures may be required based on actual field conditions and formal approvals of the other agencies.*

*Please note that this review does not include all site & landscaping issues per the Zoning Ordinance such as building setbacks, lot coverage, parking dimensions, etc. and the applicant shall refer to the Community Development Department for a complete review of such issues.*

**Should you have any questions or concerns, please do not hesitate to contact me at 815-412-2714 or [amckenna@reftd.com](mailto:amckenna@reftd.com).**



**1531 LED OMEGA SERIES**

**SPECIFICATIONS**

**LUMINAIRE DESIGN**

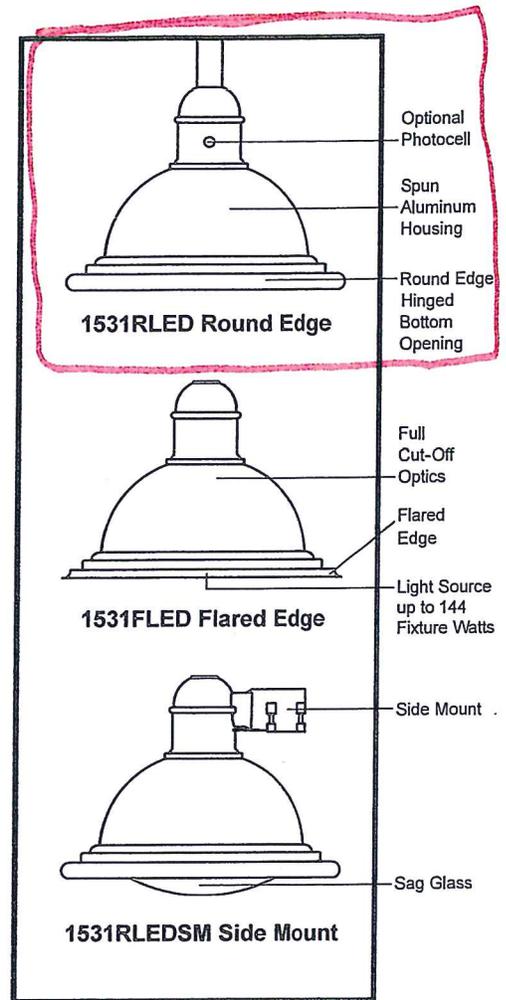
- The 1531LED Omega series is large scale, decorative downlight fixture with a spun aluminum bell styled dome.
- The dome is available with two types of shades: round edge (R) and flared edge (F) styles.
- The luminaire shall measure 31" outside diameter and 21 1/2" overall height.
- The luminaire shall have a hinged door for tool-less driver and LED access.
- The luminaire shall be supplied with the line-ground, line neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSE C62.41.2 guidelines.
- The luminaire shall be U.L. or E.T.L. listed in U.S. and Canada.

**DRIVER**

- The LED driver shall be securely mounted inside the fixture for optimized driver performance and longevity.
- The LED driver assembly shall have easy tool-less access using twist lock components.
- The LED driver shall be supplied with a quick-disconnect electrical connector on the power supply providing an easy power connection.

**LIGHT SOURCES**

- The luminaire shall use high output, high brightness LEDs.
- The LEDs shall be mounted in arrays, on printed circuit boards designed to maximize heat transfer to the heat sink surface.
- The LEDs shall be attached to the printed circuit board with not less than 90% pure silver to insure optimal electrical and thermal conductivity.
- The LEDs and printed circuit boards shall be protected from moisture and corrosion by a conformal coating of 1 to 3 mils.
- The LEDs and printed circuit board construction shall be environmentally friendly and 100% recyclable. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant.
- The LED life rating shall be determined in accordance with IESNA LM-80.



**EPA = 1.16 (ft<sup>2</sup>)  
 WEIGHT = 50 LBS**

**Rated IP65**

**1531 LED OMEGA SERIES**

**SPECIFICATIONS**

LIST NO.  
1531 LED  
OMEGA  
SERIES

**OPTICS**

- The luminaire shall be provided with individual, acrylic, refractor type optics applied to each LED.
- The luminaire shall provide Type \_\_\_\_ (III or V) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79-08.

**PERFORMANCE**

- The LED arrays are built in series-parallel circuits which maintain overall light output in the event of single LED failures.
- The LEDs and LED driver shall operate over a -40°C (-40°F) to +50°C (122°F) ambient air temperature range.
- The High Performance white LEDs will have a life expectancy of approximately 70,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C.
- The High Brightness, High Output LED's shall be 4500K (or 6300K option) color temperature with a minimum of 75 CRI.
- The luminaire shall have a minimum \_\_\_\_\_ (see table) initial delivered lumen rating when operated at steady state with an average ambient temperature of 25°C (77°F).

Light Source	Initial Delivered Lumens	Fixture Watts	Light Source	Initial Delivered Lumens	Fixture Watts
10ARC63T5*	13350	232	10ARC63T3*	12605	232
10ARC45T5*	11710	232	10ARC45T3*	11060	232
10ARC35T5*	10235	232	10ARC35T3*	9665	232
10ARC63T5	9805	160	10ARC63T3	9490	160
10ARC45T5	8600	160	10ARC45T3	8320	160
10ARC35T5	7515	160	10ARC35T3	7275	160
8ARC63T5	7935	128	8ARC63T3	7625	128
8ARC45T5	6960	128	8ARC45T3	6690	128
8ARC35T5	6080	128	8ARC35T3	5845	128
6ARC63T5	5900	96	6ARC63T3	5695	96
6ARC45T5	5175	96	6ARC45T3	4995	96
6ARC35T5	4520	96	6ARC35T3	4365	96
4ARC63T5	4355	66	4ARC63T3	4110	66
4ARC45T5	3820	66	4ARC45T3	3605	66
4ARC35T5	3340	66	4ARC35T3	3150	66

\* 525 Option

## 1531 LED OMEGA SERIES

## SPECIFICATIONS

LIST NO.  
1531 LED  
OMEGA  
SERIES**ELECTRONIC DRIVERS**

- The driver shall be U.L. or E.T.L. Recognized.
- The driver shall have overload as well as short circuit protection.
- The driver shall be a DC voltage output, constant current design, 50/60HZ.
- The driver shall have a minimum efficiency of 90%.
- The driver shall be rated at full load with THD<20% and a power factor of greater than 0.90.
- The driver shall contain over-heat protection which reduces output to less than half rating if the case temperature reaches 85°C.

**LUMINAIRE HOUSING**

- The upper housing is a spun aluminum bell shade attached to a cast aluminum top.
- The luminaire shall be **Rated IP65\*** to provide years of dirt and moisture-free operation.
- The luminaire shall be supplied with an aluminum door frame and lens with tool-less access.

**PHOTOCELL OPTIONS\*****Bi-metal Cell Option (Not Available on Side Mount Option)**

- Photocells shall be thermo bi-metal button type.
- On single post-top fixtures the photocell shall be mounted in the top casting and pre-wired to the driver.
- On multiple head fixtures photocells shall be mounted in the pole shaft, on an access plate. The photocell is not pre-wired since drivers are mounted in the fitter and packaged separately.
- The photocell shall turn on at 1.0 foot-candle and turn off at not more than 5 foot-candles.
- The photocell is 120V or 208-277 volt.

**Electronic Cell Option (Not Available on Side Mount Option)**

- Photocells shall be electronic button type.
- On single post-top fixtures the photocell shall be mounted in the top casting and pre-wired to the driver.
- On multiple head fixtures photocells shall be mounted in the pole shaft, on an access plate. The photocell is not pre-wired since drivers are mounted in the fitter and packaged separately.
- The photocell is instant-on at 1.5 foot-candle and turn off 5-10 seconds at 2-3 foot-candles.
- The photocell is 120V or 208-277 volt.

**Roto-Lock Type Option (Available with Side Mount Option Only)**

- Photocells shall be roto-lock design.
- They shall be thermal-bimetallic switch type.
- Photocells shall be mounted in the housing on the photocell bracket and pre-wired to the driver.
- On multi-fixture poles the photocell shall be mounted in the pole shaft on an access plate. The photocell is not pre-wired since drivers are mounted in the fitters and packaged separately.
- Photocell time delay is 2 minutes to turn on at 1.5 foot-candles and 2 minutes to turn off at no more than 6 foot-candles.
- The photocell is 120-277 volt.

\* Note: Photocells are not IP rated. Fixture mounted PC eliminates IP65 rating.

**1531 LED OMEGA SERIES****SPECIFICATIONS**

**LIST NO.  
1531 LED  
OMEGA  
SERIES**

**ARMS**

- The arm construction shall be cast aluminum and/or extruded aluminum.
- The arms shall be pre-wired for an ease of installation.
- The arms shall be bolted to a post mount adapter, which is welded to the pole to ensure proper alignment to the base.

**FINISH**

- Prior to coating, the luminaire shall be chemically cleaned and etched in a 5-stage washing system which includes alkaline cleaning, rinsing, phosphoric etching, reverse-osmosis water rinsing and non-chrome sealing to ensure corrosion resistance and excellent adhesion for the finish coat.
- The finish coat shall be an electrostatically applied semi-gloss, super durable polyester powder coat, baked on at 400°F, to provide a durable, color retentive finish.
- \*The optional \_\_\_\_\_ (Verde Green or Swedish Iron) finish shall be hand-brushed using a 3-step process.

**WARRANTY**

- The luminaire shall be free from all defects in materials and workmanship for a period of seven (7) years from the date of manufacture.
- The luminaire manufacturer shall warrant the LED boards/system, during the stated warranty period, against failure defined as more than three (3) simultaneous non-operating LEDs.
- The driver shall be warranted for seven (7) years.

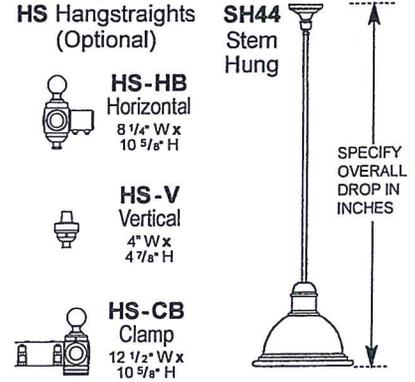
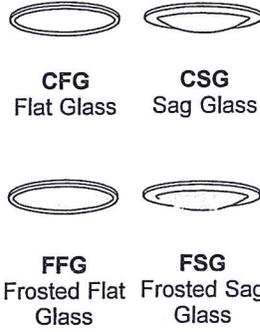
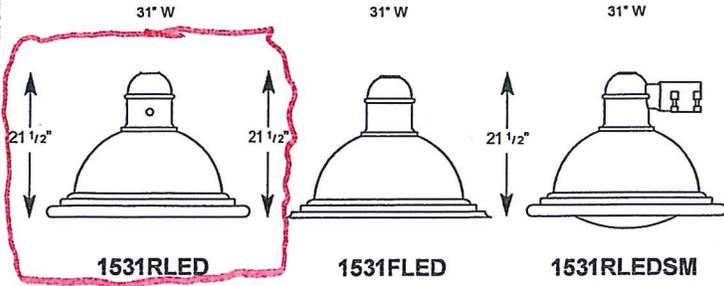
**1531 LED OMEGA**

**FIXTURES / ARMS PM - WB**

**FIXTURES**

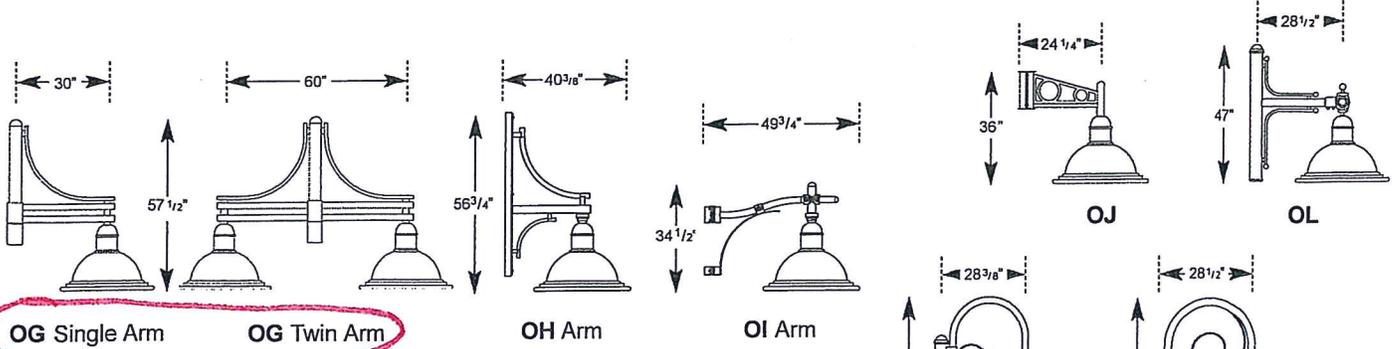
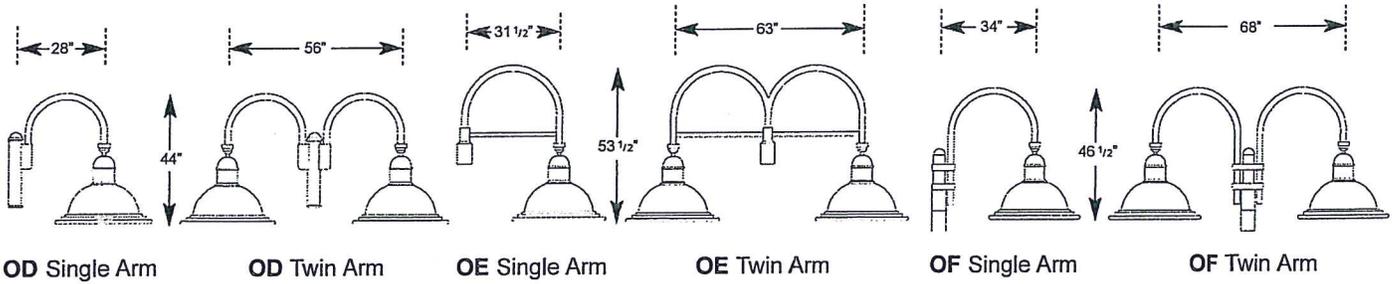
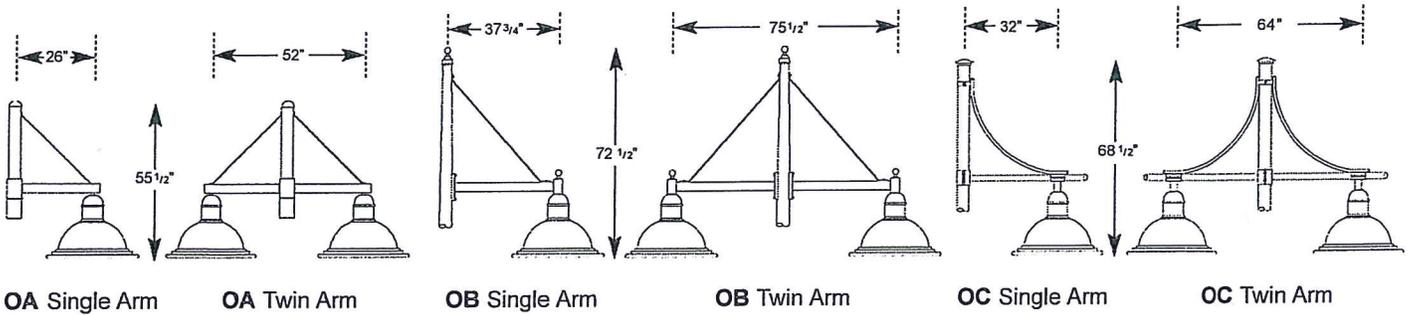
**LENSES**

**HANGING BRACKETS**



**ARMS - POST MOUNT (PM) or WALL BRACKETS (WB)**

See Arms Section for more information



**BUILDING A PART NUMBER**

**POST & ARM FIXTURES**

ARM MOUNTED FIXTURE	POST	POST CAP	LIGHT SOURCE	DRIVER	OPTIONS	FINISH
NO. OF ARMS	FIXTURE/ LENS/ POSTARM	(See Post Section)				
2	1531RLED/CFG/OD	9114P5	10ARC45T5	ML		BK

**WALL FIXTURES**

FIXTURE/LENS/ WALL BRACKET	LIGHT SOURCE	DRIVER	OPTIONS	FINISH
1531RLED/CFG/OJWB	10ARC45T5	ML		BK

**SIDE MOUNT**

LIGHT SOURCE	DRIVER
10ARC45T5	ML

FIXTURE/ LENS/ SIDE MOUNT	OPTIONS	FINISH
1531RLED/SM/FSG		BK

**HANGING FIXTURES**

FIXTURE/LENS/ HANGING BRACKET	OVERALL DROP IN INCHES	LIGHT SOURCE	DRIVER	OPTIONS	FINISH
1531RLED/FFG/SH44	60 INCHES	10ARC45T5	ML		BK

**PART NUMBER SELECTIONS**

**FIXTURES**

- 1531RLED
- 1531FLED
- 1531RLED/SM
- 1531FLED/SM

**DRIVERS**

- ML - 120-277
- MH - 347-480
- MDL - Dimming 120-277
- MDH - Dimming 347-480

**OPTIONS**

- PEC1 Photocell-Bimetal 120 Volt
- PEC2 Photocell-Bimetal 208-277 Volt
- PEC1-E Photocell-Electronic 120 Volt
- PEC2-E Photocell-Electronic 208-277 Volt
- FHD Dual Fuse and Holder
- HL Hi-Low Operation
- HS-HB Horizontal Hangstraight Ball Finial
- HS-HN Horizontal Hangstraight No Finial
- HS-V Vertical Hangstraight
- HS-CB Clamp Style Hangstraight Ball Finial
- HS-CN Clamp Style Hangstraight No Finial
- 525 Hi Output

**POST ARMS**

- Single / Double
- OA
- OB
- OC
- OD
- OE
- OF
- OG
- OH
- OI
- OJ
- OL
- ON
- OQ

**HANGING TYPE**

- SH44

**WALL BRACKET ARMS**

- OBWB
- OCWB
- ODWB
- OGWB
- OHWB
- OJWB
- OLWB
- ONWB
- OQWB

**LENSES**

- CFG
- FFG
- CSG
- FSG

**LIGHT SOURCES T5**

- 10ARC63T5 160W, 6300K Type V Optics
- 10ARC45T5 160W, 4500K Type V Optics
- 10ARC35T5 160W, 3500K Type V Optics
- 8ARC63T5 128W, 6300K Type V Optics
- 8ARC45T5 128W, 4500K Type V Optics
- 8ARC35T5 128W, 3500K Type V Optics
- 6ARC63T5 96W, 6300K Type V Optics
- 6ARC45T5 96W, 4500K Type V Optics
- 6ARC35T5 96W, 3500K Type V Optics
- 4ARC63T5 66W, 6300K Type V Optics
- 4ARC45T5 66W, 4500K Type V Optics
- 4ARC35T5 66W, 3500K Type V Optics

**LIGHT SOURCES T3**

- 10ARC63T3 160W, 6300K Type III Optics
- 10ARC45T3 160W, 4500K Type III Optics
- 10ARC35T3 160W, 3500K Type III Optics
- 8ARC63T3 128W, 6300K Type III Optics
- 8ARC45T3 128W, 4500K Type III Optics
- 8ARC35T3 128W, 3500K Type III Optics
- 6ARC63T3 96W, 6300K Type III Optics
- 6ARC45T3 96W, 4500K Type III Optics
- 6ARC35T3 96W, 3500K Type III Optics
- 4ARC63T3 66W, 6300K Type III Optics
- 4ARC45T3 66W, 4500K Type III Optics
- 4ARC35T3 66W, 3500K Type III Optics

**FINISHES STANDARD**

- BKT Black Textured
- BK Black
- VG Verde Green
- PGT Park Green Textured
- PG Park Green
- ABZT Architectural Medium Bronze Textured
- ABZ Architectural Medium Bronze
- SI Swedish Iron
- DBT Dark Bronze Textured
- DB Dark Bronze
- OWGT Old World Gray Textured
- OWG Old World Gray

**FINISHES CUSTOM**

- WHT White Textured
- WH White
- CV Copper Vein
- WBK Weathered Black
- WBR Weathered Brown
- CD Cedar
- RT Rust
- OI Old Iron
- TT Two Tone
- CM Custom Match

**2200 STRATFORD ROADWAY 6" to 9" Diameters**

**SPECIFICATIONS**

**GENERAL**

The \_\_\_ ft tall decorative post shall be aluminum or steel, one piece construction. The post shall have a cast aluminum, decorative two-piece split base that clamps around the pole and base plate. The 22" diameter x 52" tall cover shall have one access door.

**CONSTRUCTION**

The base shall be designed with a decorative curviform shape and transition to a curved hour-glass shaft. It shall be made of heavy wall, 356 alloy cast aluminum. **Indicate the type of shaft needed.**

\_\_\_ The **round tapered fluted shaft** shall be made of ASTM A572 grade 50, high-strength structural steel or ASTM 6063T6 aluminum.

\_\_\_ The **round tapered smooth shaft** shall be made of ASTM 6063T6 extruded aluminum and tempered to a T6 condition or ASTM A572 steel.

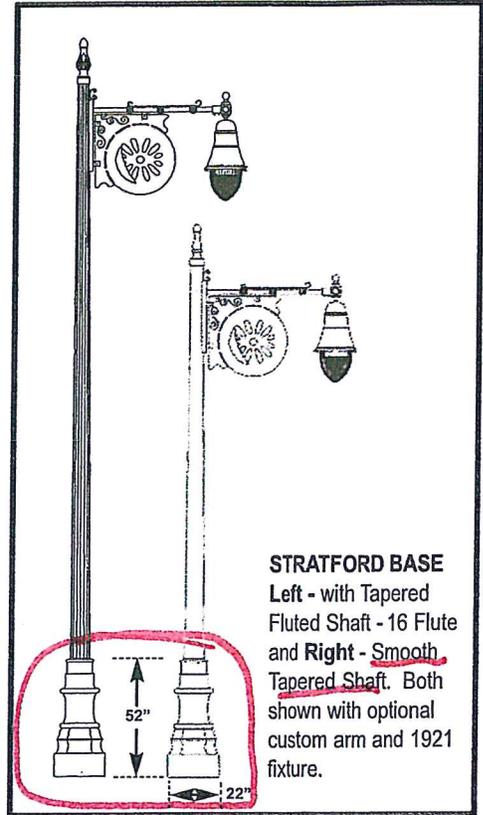
\_\_\_ The **round straight fluted shaft** shall be made of ASTM A595 grade A, high-strength structural steel or ASTM 6061T6 aluminum.

\_\_\_ The **round straight smooth shaft** shall be made of ASTM 6061T6 extruded aluminum and tempered to a T6 condition or ASTM A572 steel. It shall have a decorative fluted tenon.

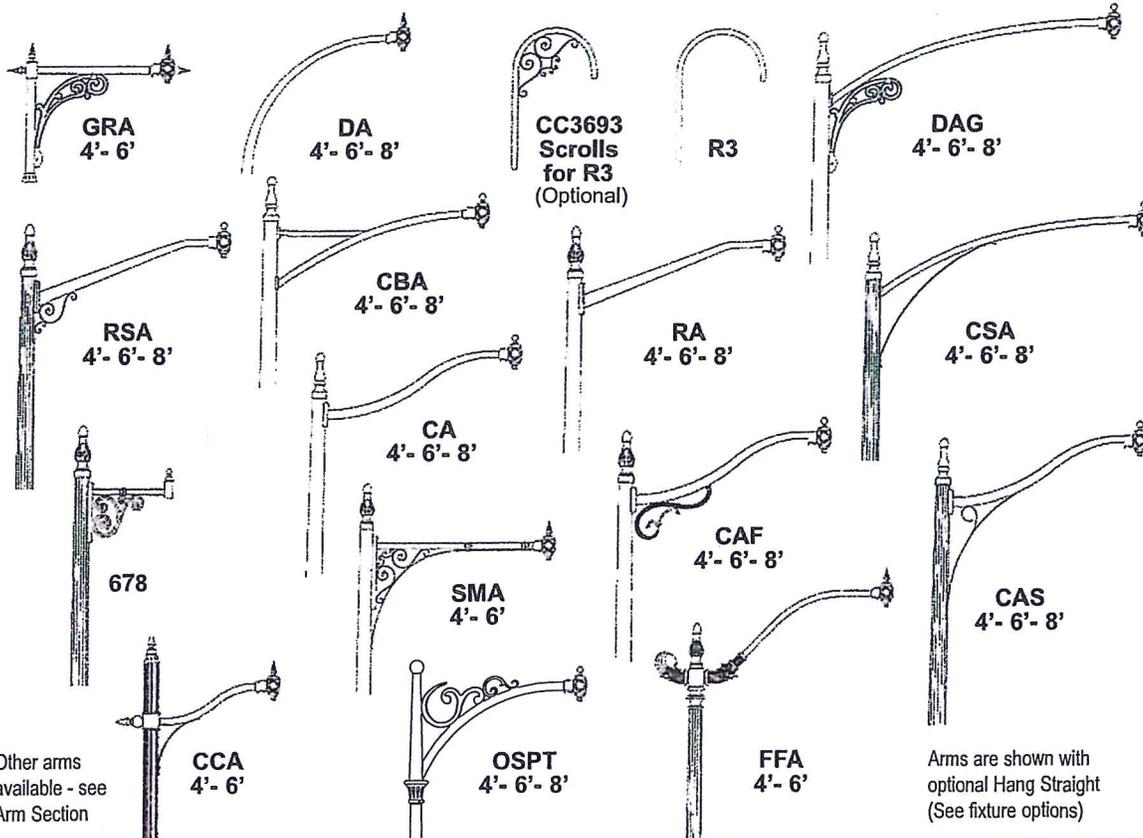
\_\_\_ The **octagonal tapered shaft** shall be made of ASTM A607 high-strength, tapered structural steel.

**INSTALLATION**

The cast aluminum fluted base cover shall clamp around the base plate and lower shaft of the pole assembly. It shall be clamped together using tamper-proof stainless steel screws. An access door shall be provided in the pole shaft and in the cast aluminum fluted base cover for wiring and mechanically secured with tamper-proof, stainless steel screws.



**Roadway Arms Available for 2200 Stratford Series**



**POLE HEIGHT CALCULATOR**

Add distance listed below to desired mounting height of fixture to calculate pole height needed.

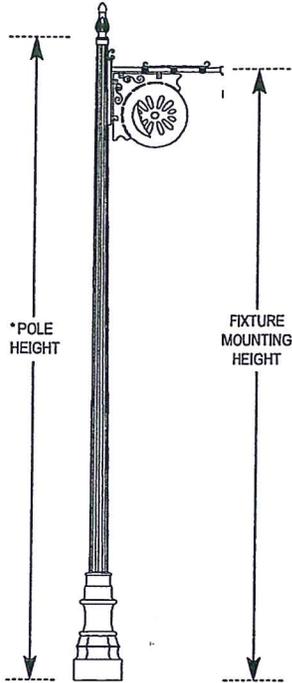
ARM	Distance
CAS	-2'
CA	-1'
CAF	-1'
CSA	-2'
RA	-1'
RSA	-1'
DAG	-2'
SMA	+1'
GRA	-3'
CCA	+1'
CBA	0
DA	-7'
R3	-3'
FFA	-3'
OSPT	-3'
678	0

Arms are shown with optional Hang Straight (See fixture options)

Other arms available - see Arm Section

**2200 STRATFORD ROADWAY 6" to 9" Diameters POSTS / OPTIONS / POST CAPS**

**BUILDING A PART NUMBER**



MODEL	*POLE HEIGHT	SHAFT MATERIAL	SHAFT STYLE	FLUTED SHAPE (If Applicable)	POST CAP CENTER	OPTIONS	FINISH
22	25	S	RTF	/ □ /	RDBP	/ □ /	BK

**Part Number Selections**

MODEL	*POLE HEIGHT	SHAFT MATERIAL	SHAFT SHAPE	FLUTED SHAPE (If Applicable)	SHAFT TYPE (Pole Shapes)
• 22	• 20'	• S-Steel	• RTF - Round Tapered Fluted	• 16FF	16-Sharp Flute
	• 23'	• A-Aluminum	• RTS - Round Tapered Smooth	• 16SF	16-Flat Flute
	• 25'	• G-Galvanized	• RSF - Round Straight Fluted	• 12FF	12-Flat Flute
	• 30'		• RSS - Round Straight Smooth	• 12SF	
	• 32'		• OTS** - Octagonal Tapered Smooth	• 8SF	
	• 35'		<small>**Steel Only</small>		
	• 40'				

Shaft diameters and wall thickness will be determined by the factory, based on desired pole design with selected options and basic wind velocity (Referenced by AASHTO). Check your local area for wind speed or any other structural requirements.

\*Use Pole Height Calculator to determine pole height based on desired mounting height of fixture.

All Tapered Shafts have a taper of 0.14 inch per foot of length, most shafts are available in steel and/or aluminum.

**OPTIONS AVAILABLE**

See Accessories Section for more options and information

<p><b>GFI</b> - Ground Fault Interrupter mounts in the pole</p> <p><b>FH</b> - Flag Pole Holder mounts on the pole</p> <p><b>HS-B</b> Hang Straight Ball</p> <p><b>HS-F</b> Hang Straight Finial</p>	<p><b>SBA</b> - Single Banner Arm mounts on the pole</p> <p><b>DBA</b> - Double Banner Arms mount on same side of the pole</p> <p><b>SBAR</b>-Single Banner Arm and Ring</p> <p><b>DSPA</b>-Double Stepped Planter Arms mount on either side</p> <p><b>DHPA</b>-Double Hooked Planter Arms mount on either side</p> <p><b>PA478</b>-Decorative Planter Arms with planter rings</p>	<p><b>PCD</b> - Photo Control mounts on door on pole</p> <p><b>SH</b> - Speaker Hub for mounting speaker, floodlight or signal</p> <p><b>SB</b> - Sign Bracket mounts on pole to hold signs</p> <p><b>WHK</b> - Wreath Hook mounts on pole to hold decorations</p>
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**POST CENTER CAPS (If Required)**

**POST CENTER CAP**

- RC
- RBCC3
- RSSCC
- RSB4
- RSB5
- RPBP
- RDBP

**OPTIONS AVAILABLE (Above)**

- GFI
- FH
- SBA
- DBA
- DB Direct Burial
- SBAR
- DSPA
- DHPA
- PA478
- HB Helix Burial
- PCD
- SH
- SB
- WHK

**STANDARD FINISHES\***

- BKT Black Textured
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured
- \*Smooth Finishes are available upon request
- CUSTOM FINISHES**
- OI Old Iron

- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

**STERNBERG SELECT FINISHES**

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

## FEATURES & SPECIFICATIONS

**INTENDED USE** — For landscape and facade lighting.

**CONSTRUCTION** — Welded, extruded aluminum body with cast end caps. Cast aluminum doorframe is hinged and secured by stainless steel fasteners. Closed-cell silicone gasket to prevent entrance of contaminants.

**Finish:** Standard finish is dark bronze (DDB) corrosion resistant polyester powder. Other architectural colors available.

**OPTICS** — Centered optics with anodized, aluminum reflectors: segmented, specular or hammertone finish. Clear, impact-resistant, tempered glass lens.

**ELECTRICAL** — Ballast: Constant wattage autotransformer.

Metal halide: Super CWA (pulse start ballast) 88% efficient and EISA legislation compliant, is required for 175 - 400W (SCWA option) for US shipments only. CSA, NOM or INTL required for probe start shipments outside of the US. Ballasts are 100% factory tested.

Socket: Mogul-base porcelain socket with copper alloy, nickel-plated screw shell and center contact. 4KV pulse rated. UL listed 660W, 600V.

**INSTALLATION** — Standard mount is two-piece, heavy-duty, cast aluminum swivel with integral wiring compartment. Swivel fits over standard 1-1/2" (1.9" O.D.) or 2" (2.38" O.D.) Tenon. Painted steel yoke with 3 ft. 16/3 SEO cable or threaded knuckle mount are optional.

**LISTINGS** — UL listed for wet locations. Listed and labeled to comply with Canadian Standards (see Options). IP65 rated.

Note: Specifications subject to change without notice.

Catalog  
Number

Notes

**GROUND MOUNTED FACADE ACCENT  
LIGHTING (AT SOUTH & WEST)**

Type



Architectural Floodlighting

# KFL3

METAL HALIDE 175 - 400W  
HIGH PRESSURE SODIUM 250 - 400W

### Specifications

EPA: 2.0 ft<sup>2</sup> (19 m<sup>2</sup>)

Length: 20 (50.8)

Depth: 9-1/8 (23.2)

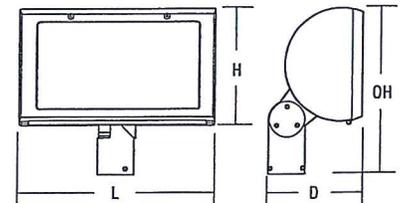
Height: 13-1/8 (33.3)

Overall Height: 16-7/8 (42.9)

\*Weight: 44 lbs (19.9 kg)

\*Weight as configured in example below.

All dimensions are inches (centimeters) unless otherwise specified.



### ORDERING INFORMATION

For shortest lead times, configure product using **standard options (shown in bold)**.

**Example:** KFL3 250M SP 120 SCWA LPI

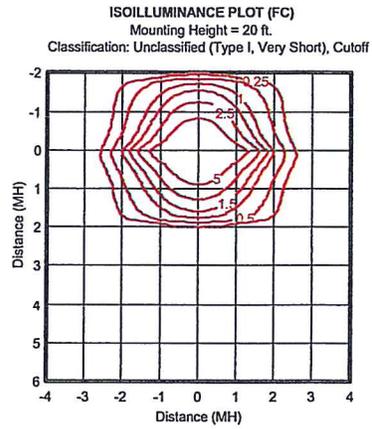
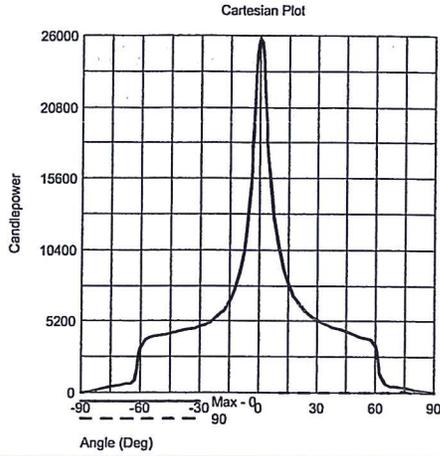
KFL3	Series	Wattage	Distribution	Voltage	Ballast	Mounting	Options	Finish <sup>14</sup>	Lamp <sup>15</sup>
	KFL3	<u>Metal halide</u>	SP Spot	<b>120</b>	(blank) Magnetic	<u>Shipped installed</u>	<u>Shipped installed in fixture</u>	(blank) Dark bronze	LPI Lamp included
		175M <sup>1</sup>	HPN Narrow	208 <sup>5</sup>	CWI Constant wattage isolated	(blank) Swivel	SF Single fuse (120, 277, 347V)	DWH White	L/LP Less lamp
		200M <sup>2</sup>	HPN Narrow asymmetric	240 <sup>5</sup>		YK Yoke mount	DF Double fuse (208, 240, 480V)	DBL Black	
		<b>250M<sup>3</sup></b>	HPM Medium asymmetric	<b>277</b>	<u>Pulse Start</u>	THK Threaded knuckle mount	CSA Listed and labeled to comply with Canadian Standards	DMB Medium bronze	
		320M <sup>2</sup>	HPM Medium asymmetric	<b>347</b>			PE Photoelectric cell-button type (N/A with 480V, TB)	DNA Natural aluminum	
		350M <sup>1,2</sup>	HPW Wide asymmetric	480 <sup>5,6</sup>	SCWA Super CWA pulse start ballast	<u>Shipped separately<sup>9,10</sup></u>	QRS Quartz restrike <sup>11,12</sup>	DSS Sandstone	
		<b>400M<sup>3</sup></b>	HPW Wide asymmetric	<b>480<sup>5,6</sup></b>		AFSTM Stanchion mount	EC Emergency circuit <sup>12</sup>	DGC Charcoal gray	
		<u>High pressure sodium<sup>1</sup></u>	RN Narrow symmetric	<b>TB<sup>7</sup></b>	Note: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	KFLSTMTHK Stanchion mount THK	INTL Available for MH probe start shipping outside the U.S.	CR Enhanced corrosion resistant	
		250S	RM Medium symmetric	23050HZ <sup>3</sup>		AFTM Tenon-base mount	<u>Shipped separately<sup>9,13</sup></u>		
		400S	RW Wide symmetric			AFWMA Wall-mount arm	UV Upper visor <sup>10</sup>		
			FT Forward throw			KFLWMATHK Wall-mount arm THK	EV Eggcrate visor (black)		
						FTS Tenon slipfitter	FV Full visor <sup>10</sup>		
							BV Bottom visor <sup>10</sup>		
							WG Wire guard		
							BD Barn door <sup>10</sup>		
							HLV Horizontal louver (black)		
							VLV Vertical louver (black)		
							BVG Bubble vandal guard		

### Notes

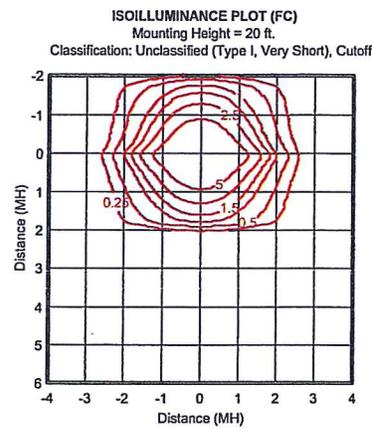
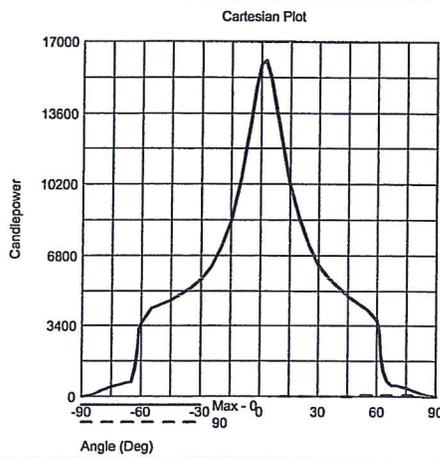
- These wattages do not comply with California Title 20 regulations.
- Must be ordered with SCWA.
- These wattages require the REGC1 option to be chosen for shipments into California for Title 20 compliance.
- Not available with SCWA.
- Must specify CWI in Canada.
- 400M 480V not available in probe start.
- Optional multi-tap ballast (120, 208, 240, 277V). In Canada 120, 277, 347V; ships as 120W/347V.
- Consult factory for available wattages.
- May be ordered as an accessory.
- Must specify finish when ordered as accessory.
- QRS can not be ordered with 480V.
- Maximum allowable wattage lamp included. QRS and EC are not available together.
- Door frame must be factory drilled.
- See [www.lithonia.com/archcolors](http://www.lithonia.com/archcolors) for additional color options.
- Must be specified.

# KFL3 Metal Halide, High Pressure Sodium Architectural Floodlighting

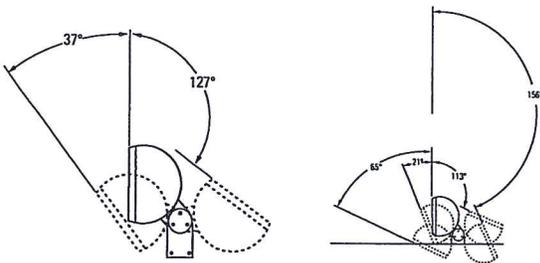
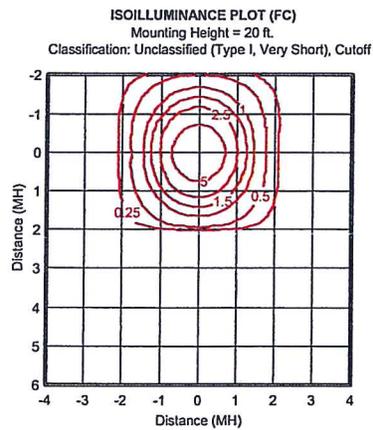
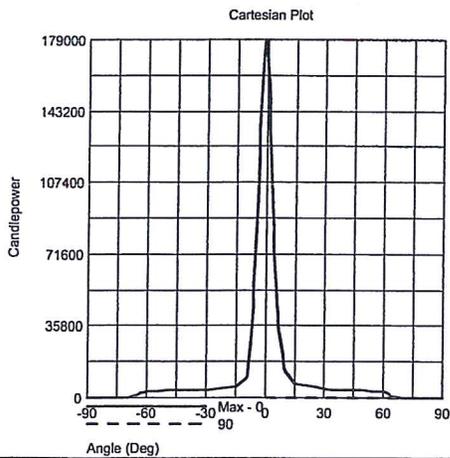
## KFL3 400M RM



## KFL3 400M RW



## KFL3 400M SP





Project:

Type:

S5

Prepared By:

Date:

**Driver Info**

Type: Constant Current  
 120V: 0.66A  
 208V: 0.41A  
 240V: 0.35A  
 277V: 0.30A  
 Input Watts: 79W  
 Efficiency: 99%

**LED Info**

Watts: 78W  
 Color Temp: 5100K (Cool)  
 Color Accuracy: 67 CRI  
 L70 Lifespan: 100,000  
 Lumens: 7,597  
 Efficacy: 97 LPW

High power, wide distribution LED floodlight. Replaces 250W MH. Patent Pending airflow technology ensures long LED and driver lifespan. Use for building facade lighting, sign lighting, LED landscape lighting and instant-on security lighting.

Color: Bronze

Weight: 24.0 lbs

**Technical Specifications**

**Listings**

**UL Listing:**

Suitable for wet locations. Suitable for ground mounting.

**IESNA LM-79 & LM-80 Testing:**

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80, and have received the Department of Energy "Lighting Facts" label.

**DLC Listed:**

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.

**Construction**

**IP Rating:**

Ingress Protection rating of IP66 for dust and water.

**EPA:**

2

**Ambient Temperature:**

Suitable for use in 40°C ambient temperatures.

**Cold Weather Starting:**

The minimum starting temperature is -40°F/-40°C.

**Thermal Management:**

Superior heat sinking with external Air-Flow fins.

**Housing:**

Die-cast aluminum housing and door frame.

**Mounting:**

Heavy-duty Slip Fitter for 2 3/8"OD pipe.

**Reflector:**

Specular vacuum-metallized polycarbonate

**Gaskets:**

High-temperature silicone gaskets.

**Finish:**

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

**Green Technology:**

Mercury and UV free.

**Optical**

**NEMA Type:**

NEMA Beam Spread of 6H x 6V

**Replacement Range:**

The FXLED78 can be used to replace 150 - 320W Metal Halide Floodlights based on delivered lumens.

**LED Characteristics**

**LEDs:**

Six multi-chip, 13Watt high-output, long-life LEDs.

**Color Consistency:**

7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

**Color Stability:**

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

**Color Uniformity:**

RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for (SSL) Products, ANSI C78.377-2008.

**Electrical**

**Driver:**

Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

**THD:**

5% at 120V, 13.1% at 277V

**Surge Protection:**

4kV

**Other**

**Equivalency:**

The FXLED78 is Equivalent in delivered lumens to a 250W Metal Halide.

**California Title 24:**

See FXLED78SF/D10, FXLED78SF/BL, FXLED78SF/PCS or FXLED78SF/PCS2 (277V) for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.

**Warranty:**

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

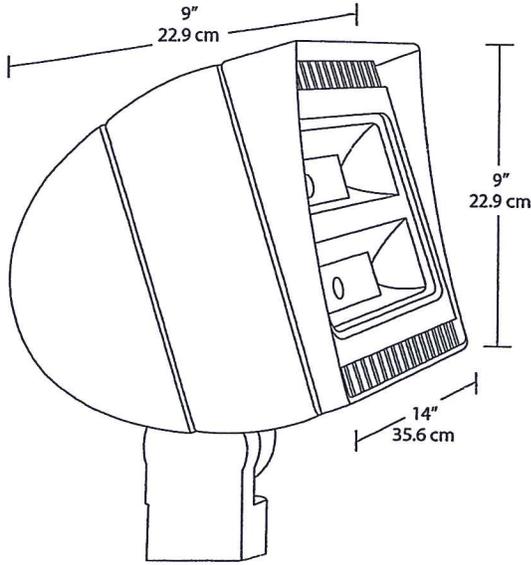
## Technical Specifications (continued)

### Other

#### Patents:

The FXLED78 design is protected by U.S. Pat. D659,280, Canada Pat. 143155, China Pat. ZL201130443125.9, Mexico Pat. 36558 and pending patent in Taiwan.

### Dimensions



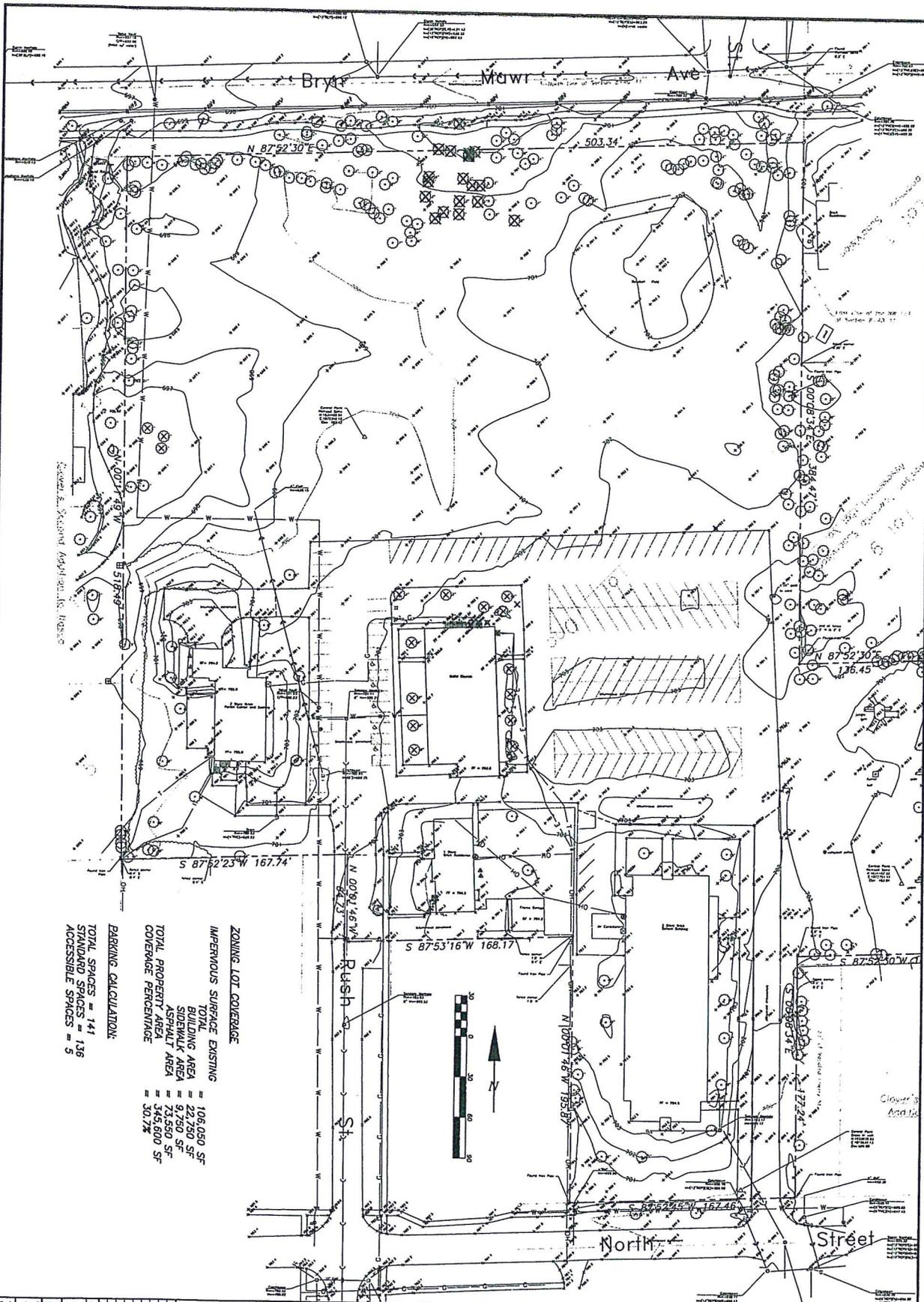
### Features

- 78 Watt high-performance LED
- Replaces 250W MH floodlights
- 100,000 hour life based on LM-80 tests
- Air-flow technology heatsink
- NEMA type - 6H x 5V
- Slipfitter and trunnion mounting available
- 5-year warranty

### Ordering Matrix

Family	Watts	Mount	Color Temp	Finish	Dimming	Voltage	Photocell	Bi-Level
FXLED	78 = 78W	= Arm T = Trunnion SF = Slipfitter	= Cool Y = Warm N = Neutral	= Bronze W = White	= No Dimming /D10 = Dimmable	= 120-277V /480 = 480 Volt	= No Photocell /PCS = 120V Swivel /PCS2 = 277V Swivel /PCS4 = 480V Swivel	= No Bi-Level /BL = Bi-Level





**ZONING LOT COVERAGE**

IMPERVIOUS SURFACE EXISTING

TOTAL BUILDING AREA = 106,050 SF  
 SIDEWALK AREA = 22,750 SF  
 ASPHALT AREA = 73,550 SF  
 TOTAL PROPERTY AREA = 345,600 SF  
 COVERAGE PERCENTAGE = 30.7%

**PARKING CALCULATION:**

TOTAL SPACES = 141  
 STANDARD SPACES = 136  
 ACCESSIBLE SPACES = 5

NO. OF SHEETS	1
DATE	1/17/2015
SCALE	AS SHOWN
PROJECT NO.	C1.0
DATE	1/17/2015
BY	
CHECKED	
APPROVED	
DATE	
SCALE	
PROJECT NO.	
DATE	
BY	
CHECKED	
APPROVED	
DATE	



**PINNACLE ARCHITECTURE**  
ARCHITECTS

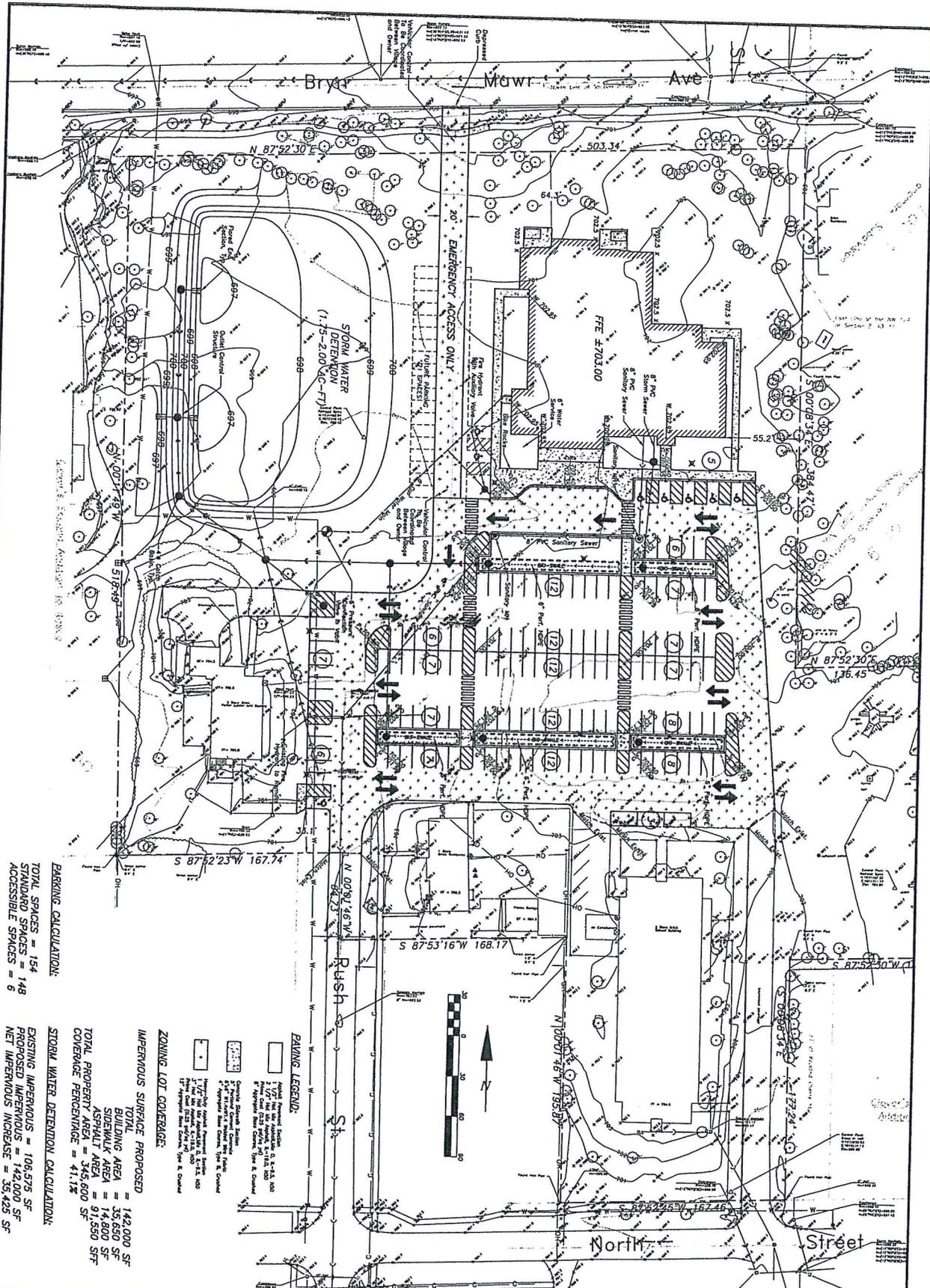


**JN ARCHITECTS**  
ARCHITECTS



**ST. PETER THE APOSTLE PARISH**

NEW PARISH CHURCH FOR:  
**ST. PETER THE APOSTLE PARISH**  
 524 N. RUSH STREET, ITASCA, IL 60143



**PARKING CALCULATION:**  
 TOTAL SPACES = 154  
 STANDARD SPACES = 148  
 ACCESSIBLE SPACES = 6

**STORM WATER DETENTION CALCULATION:**  
 EXISTING IMPERVIOUS = 106,976 SF  
 PROPOSED IMPERVIOUS = 142,000 SF  
 NET IMPERVIOUS INCREASE = 35,423 SF

**ZONING LOT COVERAGE:**  
 IMPERVIOUS SURFACE PROPOSED = 142,000 SF  
 TOTAL BUILDING AREA = 35,650 SF  
 SIDEWALK AREA = 14,800 SF  
 ASPHALT AREA = 91,550 SF  
 TOTAL PROPERTY AREA = 345,600 SF  
 COVERAGE PERCENTAGE = 41.1%

**PAVING LEGEND:**  
 Asphalt Paving  
 Concrete Paving  
 Gravel Paving  
 etc.

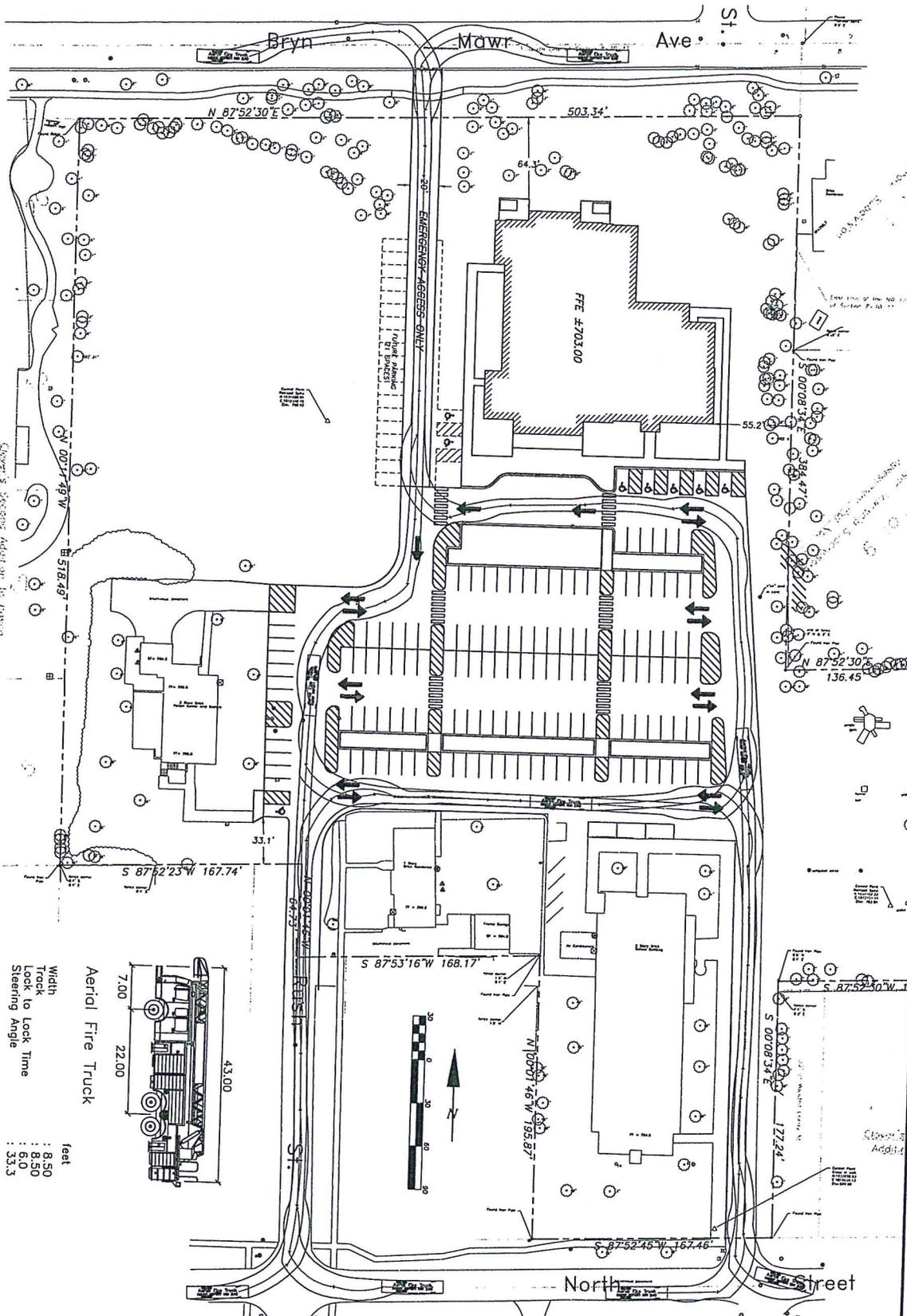
NO.	DATE	DESCRIPTION
1	12/1/2013	PROPOSED CONDITIONS PLAN

**ERIKSSON ENGINEERING**  
 1111 N. RUSH STREET, SUITE 100  
 ITASCA, IL 60143  
 TEL: 630.440.1111  
 FAX: 630.440.1112  
 WWW.ERIKSSON-ENGINEERING.COM

**JN ARCHITECTS**  
 1111 N. RUSH STREET, SUITE 100  
 ITASCA, IL 60143  
 TEL: 630.440.1111  
 FAX: 630.440.1112  
 WWW.JNARCHITECTS.COM



NEW PARISH CHURCH FOR:  
**ST. PETER THE APOSTLE PARISH**  
 524 N. RUSH STREET, ITASCA, IL 60143



ENKERSON ARCHITECTS  
1111 N. RUSH STREET, SUITE 200  
ITASCA, ILLINOIS 60143  
TEL: 630.583.1111  
WWW.ENKERSONARCHITECTS.COM

JVA ARCHITECTS  
JACQUES, VIGOREL, ARMINIANS  
ARCHITECTS  
1111 N. RUSH STREET, SUITE 200  
ITASCA, ILLINOIS 60143  
TEL: 630.583.1111  
WWW.JVAARCHITECTS.COM

NEW PARISH CHURCH FOR:  
**ST. PETER THE APOSTLE PARISH**  
524 N. RUSH STREET, ITASCA, IL 60143

C3.0

1/11/2015

**GENERAL SITE NOTES**

- 1. SEE NOTES TO ALL DRAWINGS, I-10
- 2. ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC
- 3. ALL EXISTING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND IRC

**SITE PLAN KEY NOTES**

- 1. NEW MECHANICAL EQUIPMENT ON CONCRETE PADS WITH CONCRETE CURBS AND VENTILATION TO PER MECHANICAL CONTRACTOR'S REQUIREMENTS
- 2. NEW BICYCLE PARKING
- 3. NEW SCOURERUM AREA, IDENTIFY EXISTING PAVEMENT AS BEFORE FOR MARKING
- 4. PARKING LOT SITE LIGHTING

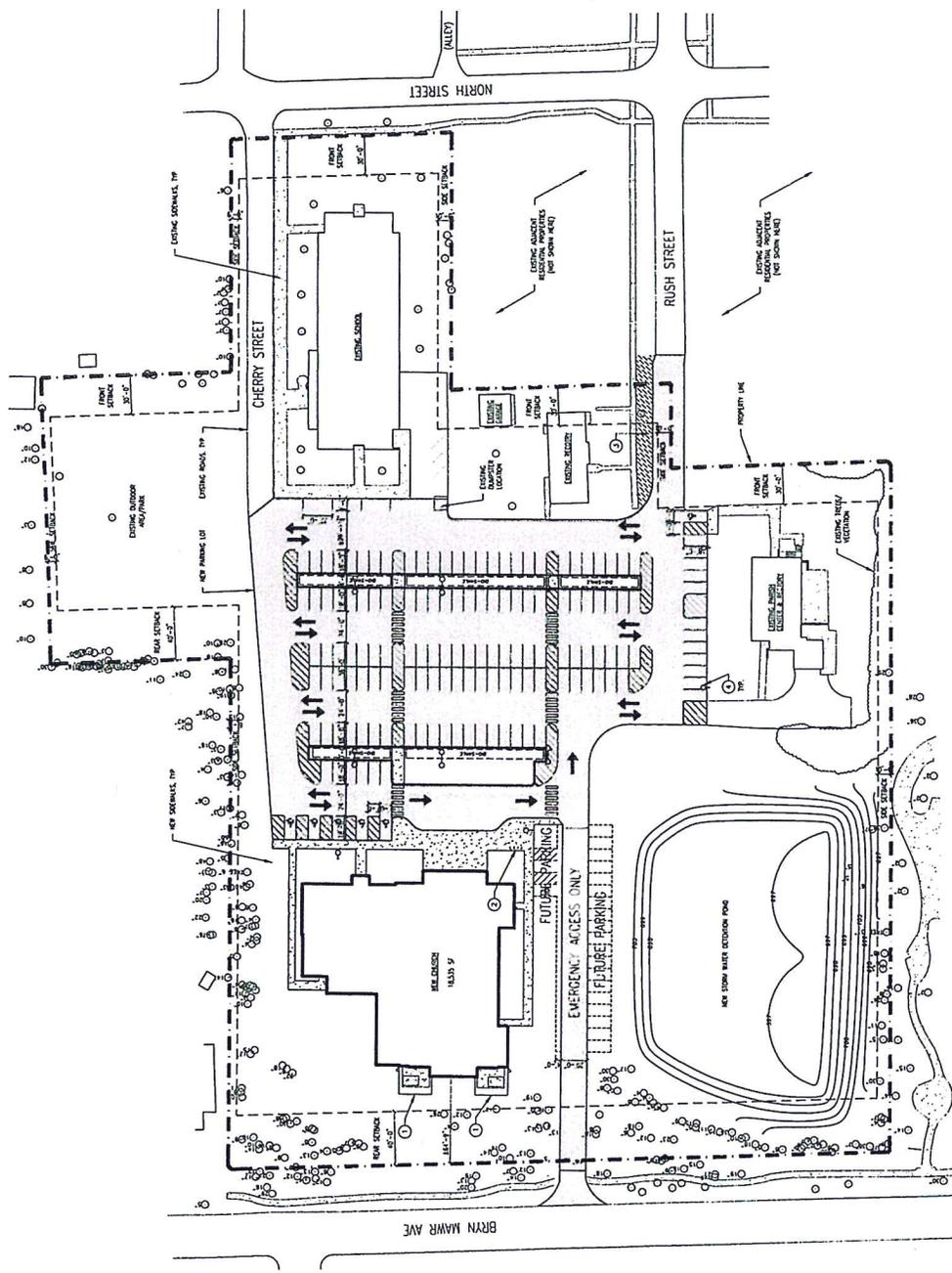
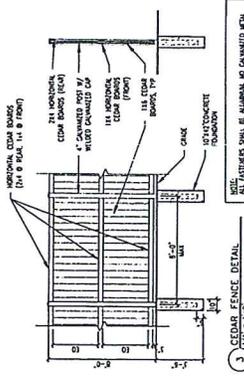
SYMBOL	NOTES/DESCRIPTION
(Symbol: Dashed line with dots)	NEW ASPHALT PAVEMENT, SEE CIVIL FOR AREAS OF "HUMPY" DIRT ASPHALT
(Symbol: Solid line with dots)	NEW CONCRETE/ADORNAMS
(Symbol: Circle with dot)	EXISTING TREES

**PARKING TOTALS**

EXISTING	145
NEW	134
<b>TOTAL</b>	<b>279</b>

**SETBACKS**

FRONT	5'-0"
REAR	5'-0"
SIDE	5'-0"



**JKA ARCHITECTS**  
 JAEGER NICKOLA KUHLMAN & ASSOCIATES, L.L.C.  
 350 S. Northwest Hwy., Ste 105, Park Ridge, IL 60068  
 www.jka-architects.com 677.693.6166 info@jka-architects.com

**ARCHITECTURAL SITE PLAN**

0 40' 80'  
 December 16, 2015

**ST. PETER THE APOSTLE PARISH**  
 524 N. RUSH STREET  
 ITASCA, IL 60143

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**GENERAL SITE NOTES**

- NOTE: APPLICABLE TO ALL SPREADSHEET SHEETS
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL, EXISTING SITE INFORMATION (NOT WORK AND LOCATION)

**SITE PLAN KEY NOTES**

- 1 NEW GEOTECHNICAL EXAMINATION OF CONCRETE PAVEMENT WITH PROPOSED REPAIRS (SEE CIVIL FOR REPAIRS AND COMPACT CLEARANCES)
- 2 NEW BICYCLE PARKING
- 3 NEW SAND/GRANULAR AREA, MORTAR EXISTING PAVEMENT AS BED FOR WORK SHOWING
- 4 PARKING LOT SITE LAYOUT

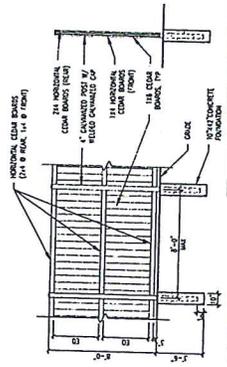
SYMBOL	NOTES/DESCRIPTION
(Symbol 1)	NEW ASPHALT PAVEMENT, SEE CIVIL FOR AREAS OF REPAIR (NOT ASPHALT)
(Symbol 2)	NEW CONCRETE/SUBGRANULARS
(Symbol 3)	EXISTING TREES

**PARKING TOTALS**

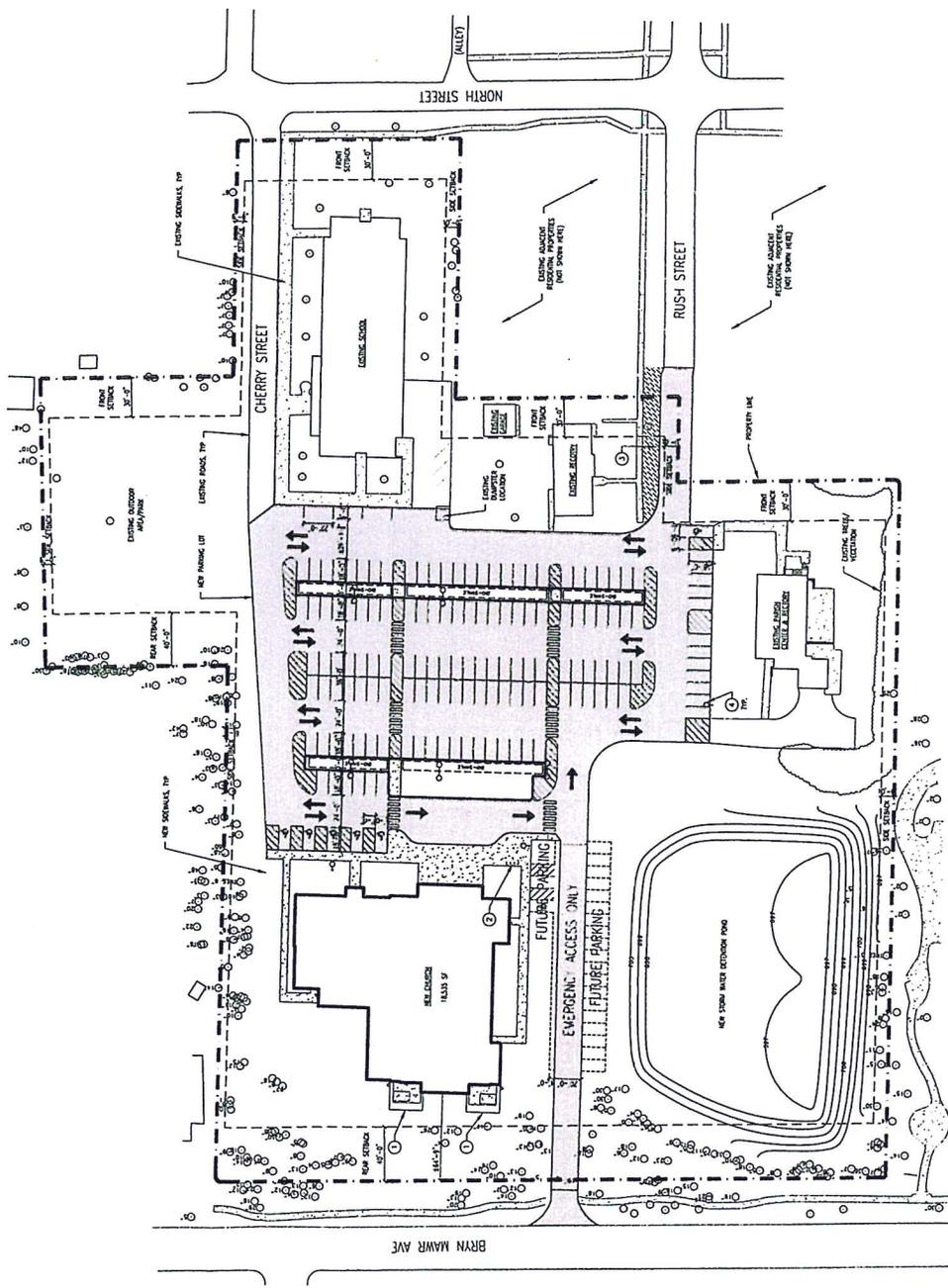
STANDARD	143
NEW	143
TOTAL	286

**SETBACKS**

FRONT SETBACK: 8'-2" SPECIAL USE  
 SIDE: 10 FEET TYPICAL, 5 FEET MIN.  
 REAR: 10 FEET



3 CEDAR FENCE DETAIL  
 ALL DIMENSIONS SHOWN IN UNITS OF DIMENSIONED METRIC



**ARCHITECTURAL SITE PLAN**



December 18, 2015

**JAeger NICKOLA KUHLMAN & ASSOCIATES, L.T.D.**  
 350 S. Northwest Hwy., Suite 106, Park Ridge, IL 60068  
 www.jka-architect.com 847.683.8183 info@jka-architect.com

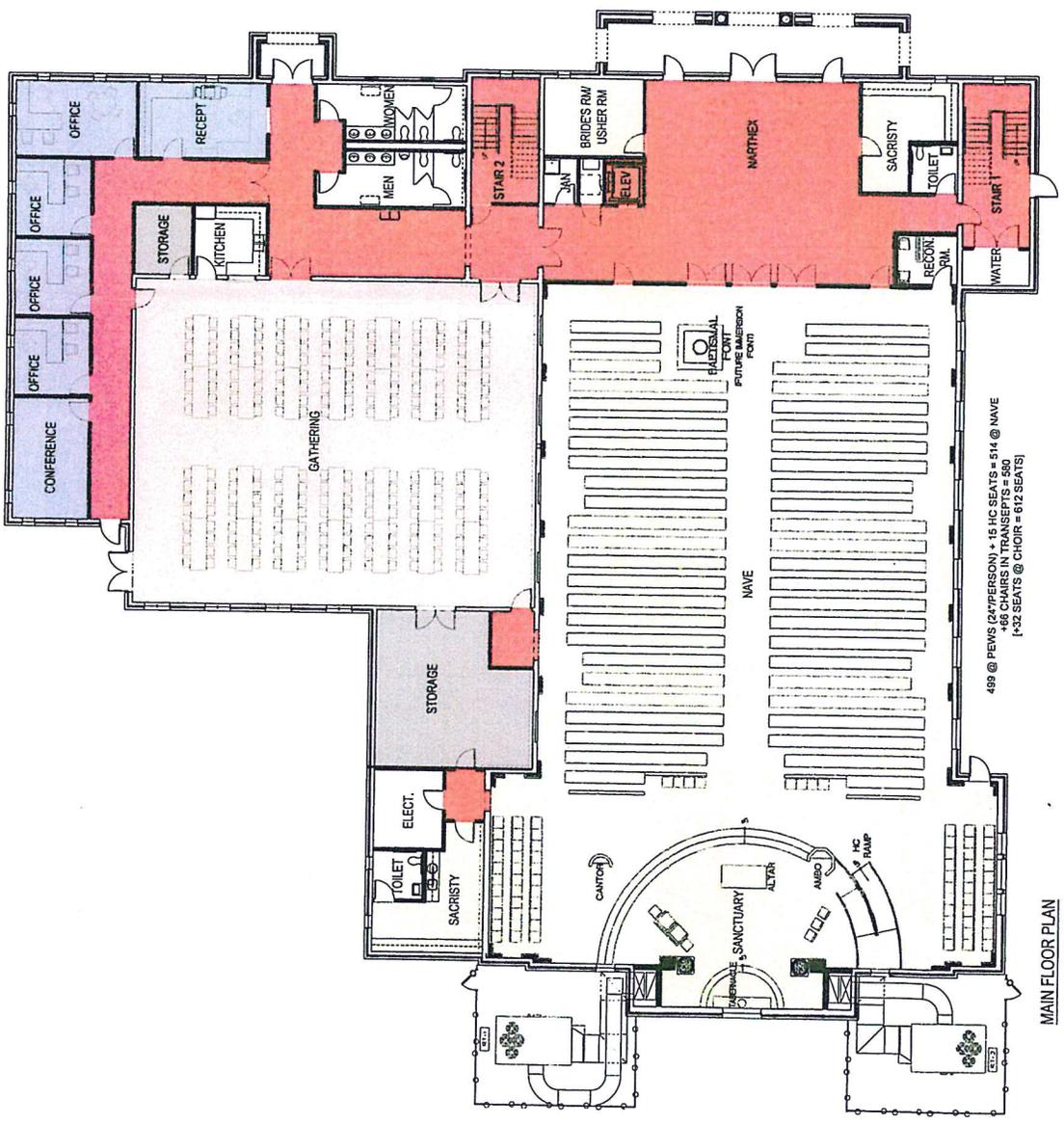


**ST. PETER THE APOSTLE PARISH**  
 524 N. RUSH STREET  
 ITASCA, IL 60143

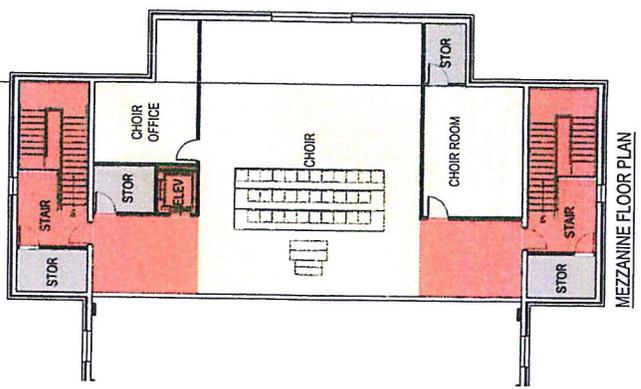
© 2015 Jaeger Nickola Kuhlman & Associates, L.T.D.

CHURCH  
 ADMINISTRATION  
 MULTIPURPOSE  
 CIRCULATION  
 SERVICE  
 STORAGE

USE	AREA
CHURCH	11,200 SF
CHOR LOFT	3,400 SF
GATHERING	4,090 SF
RESTROOMS	835 SF
ADMINISTRATION	1,760 SF
PORTICOES	545 SF



MAIN FLOOR PLAN



MEZZANINE FLOOR PLAN

**GENERAL ROOF NOTES**

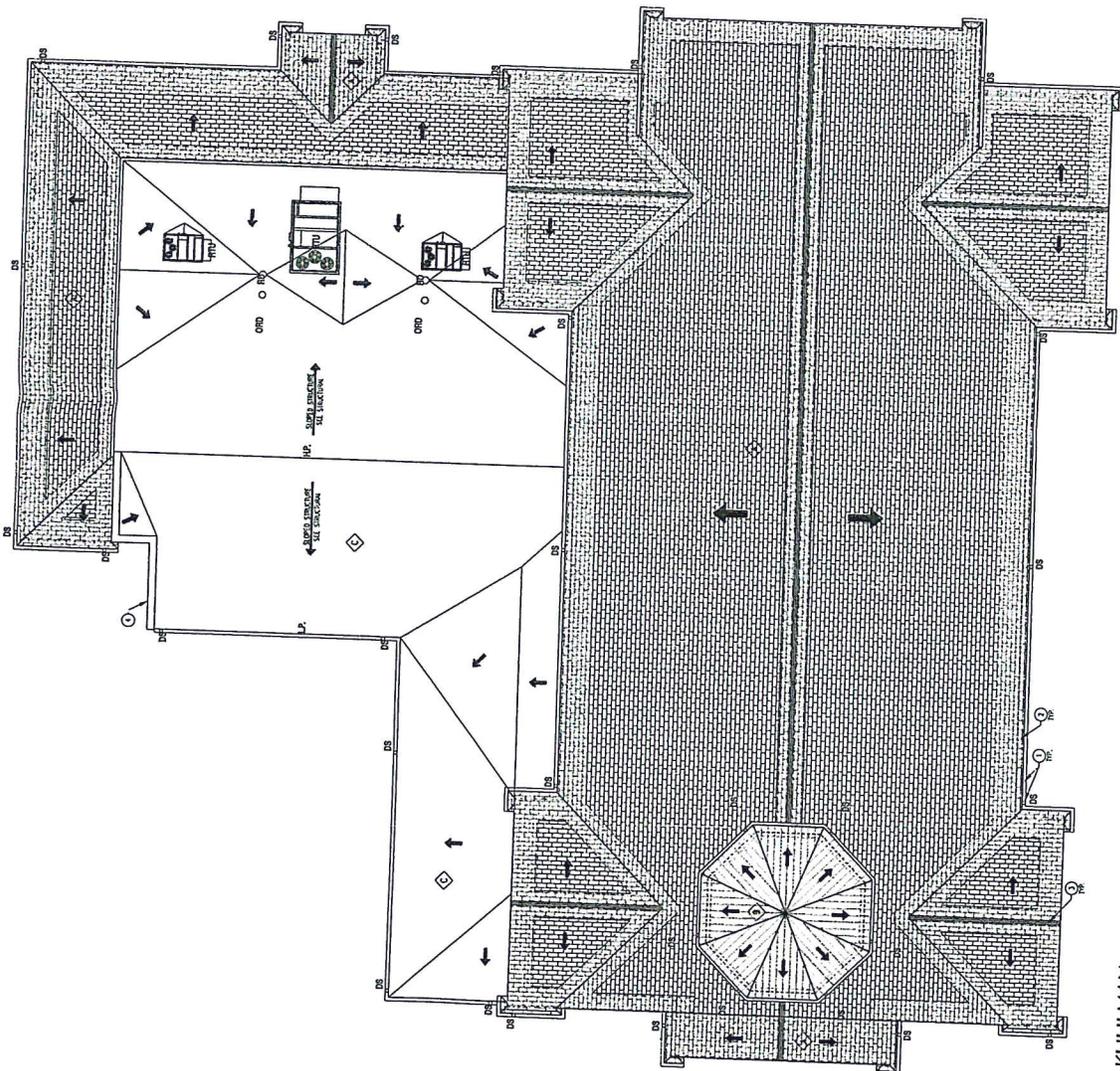
- NOTE: APPLICABLE TO ALL DRAWINGS UNLESS OTHERWISE NOTED.
- REFER TO GENERAL CONTRACT DOCUMENTS FOR SPECIFICATIONS, MATERIALS, METHODS OF CONSTRUCTION, AND FINISHES.
- VERIFY ALL INFORMATION COORDINATE WITH OTHER TRADES.
- PROVIDE LIGHTNING PROTECTION.

**ROOF PLAN KEY NOTES**

- ① 2" x 4" ALUMINUM STUDS @ 24" ON CENTER, 1/2" SHEET K. GUTTER
- ② PRE-CAST CONCRETE ROOF PANELS, 1/2" CONCRETE SLAB, 1/2" POLYSTYRENE INSULATION, 1/2" Gypsum Board, 1/2" 5/8" x 1/2" JACOBS
- ③ 2" x 4" STUDS @ 24" ON CENTER, 1/2" SHEET K. GUTTER
- ④ 2" x 4" STUDS @ 24" ON CENTER, 1/2" SHEET K. GUTTER
- ⑤ 2" x 4" STUDS @ 24" ON CENTER, 1/2" SHEET K. GUTTER

**ROOF PLAN LEGEND**

- ① ROOF PANELS
- ② ROOF PANELS WITH 1/2" CONCRETE SLAB, 1/2" POLYSTYRENE INSULATION, 1/2" Gypsum Board, 1/2" 5/8" x 1/2" JACOBS
- ③ ROOF PANELS WITH 1/2" CONCRETE SLAB, 1/2" POLYSTYRENE INSULATION, 1/2" Gypsum Board, 1/2" 5/8" x 1/2" JACOBS
- ④ ROOF PANELS WITH 1/2" CONCRETE SLAB, 1/2" POLYSTYRENE INSULATION, 1/2" Gypsum Board, 1/2" 5/8" x 1/2" JACOBS
- ⑤ ROOF PANELS WITH 1/2" CONCRETE SLAB, 1/2" POLYSTYRENE INSULATION, 1/2" Gypsum Board, 1/2" 5/8" x 1/2" JACOBS

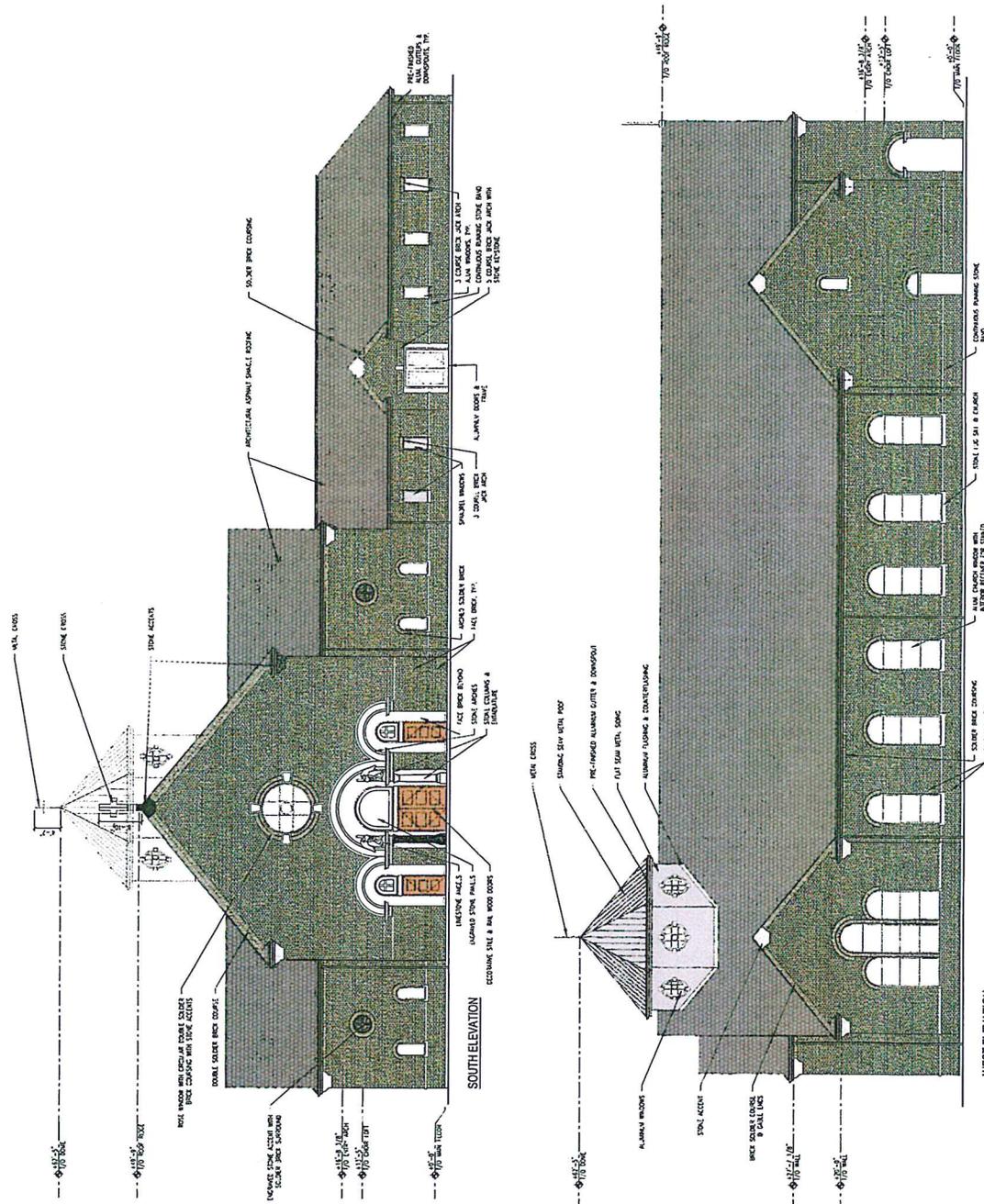


**ROOF PLAN**

0 8' 16' 1" 0  
December 18, 2015

**ST. PETER THE APOSTLE PARISH**  
524 N. RUSH STREET  
ITASCA, IL 60143

**JNKA ARCHITECTS**  
JAEGER NICKOLA KUHLMAN & ASSOCIATES, L.T.D.  
350 S. Northwester Hwy., Ste. 105, Park Ridge, IL 60068  
www.jnka-architects.com 847.689.8166 info@jnka-architects.com



- STANDING SEAM METAL ROOFING & FLAT SEAM METAL SIDING
- METAL FASCIA / DOWNSPOUT / GUTTER
- FACE BRICK
- STONE
- WOOD ENTRY DOORS
- ASPHALT SHINGLE ROOFING

ST. PETER THE APOSTLE PARISH  
 524 N. RUSBY STREET  
 ITASCA, IL 60143

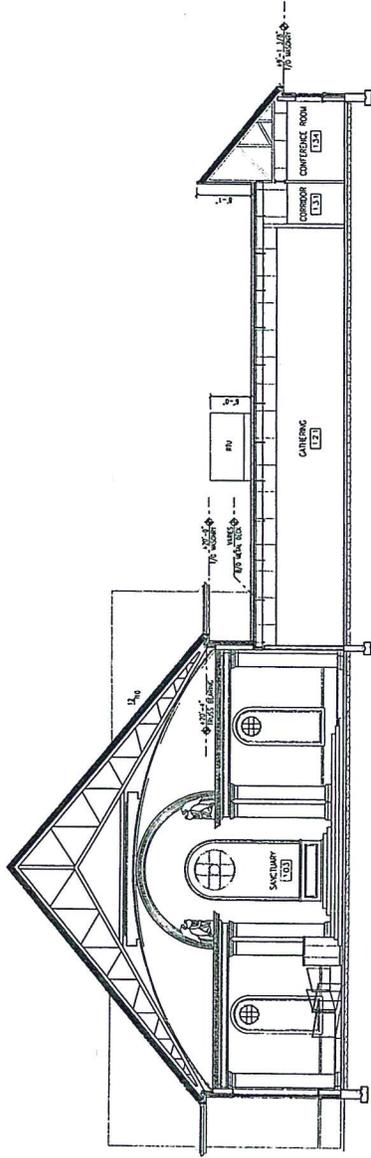
EXTERIOR ELEVATIONS  
 0 8' 16'

December 18, 2015

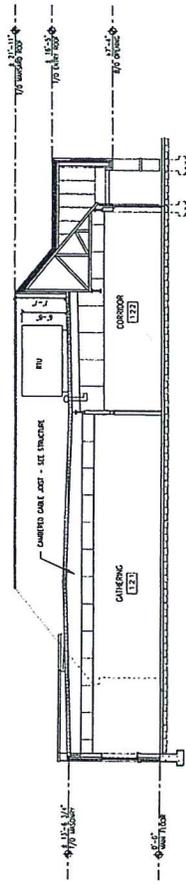
**JAEGER NICKOLA KUHLMAN & ASSOCIATES, L.T.D.**  
 330 S. Northwest Hwy., Ste. 106, Park Ridge, IL 60068  
 www.jnk-a-architect.com 647.693.6166 info@jnk-a-architect.com



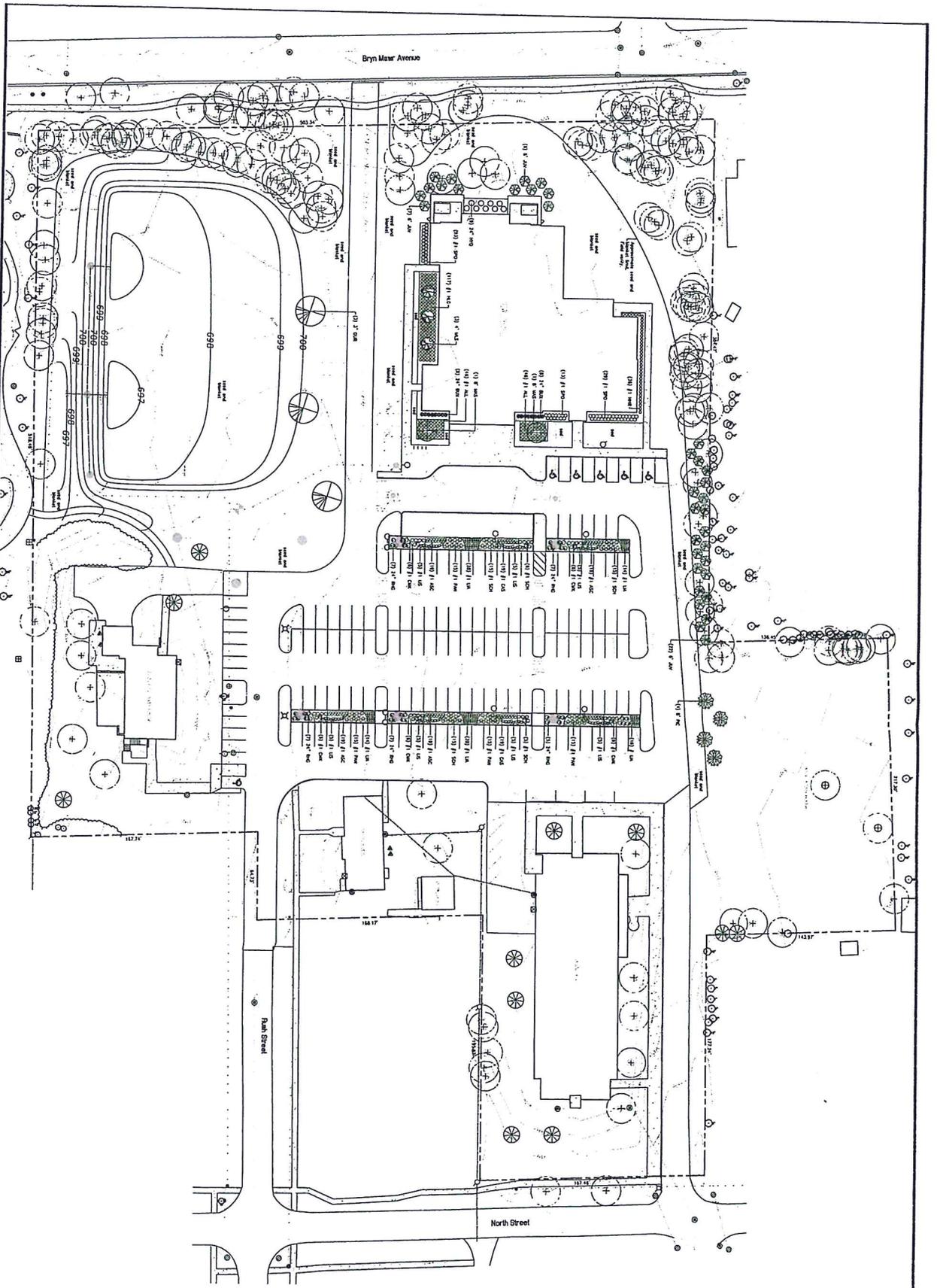




E-W SECTION FACING SANCTUARY



N-S SECTION THROUGH GATHERING



NO.	DATE	DESCRIPTION
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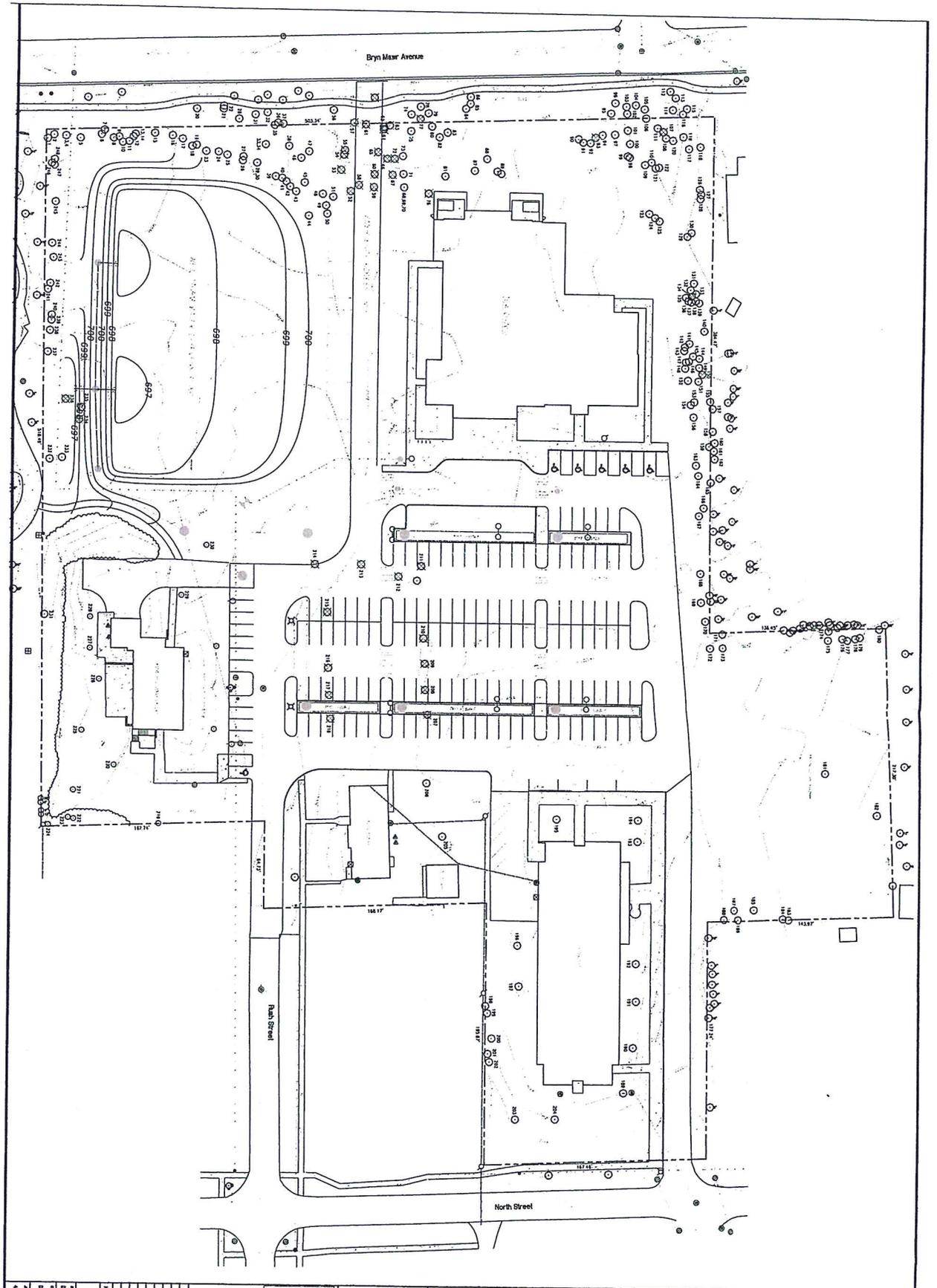
DATE: 10/17/2013  
 PROJECT: NEW PARISH CHURCH FOR ST. PETER THE APOSTLE PARISH  
 524 N. RUSH STREET, ITASCA, IL 60143

**SCALEUM**  
 ARCHITECTS

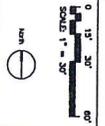
1000 N. RUSH STREET, SUITE 100  
 ITASCA, IL 60143  
 TEL: 630.291.1111  
 WWW.SCALEUMARCHITECTS.COM

NEW PARISH CHURCH FOR:  
**ST. PETER THE APOSTLE PARISH**  
 524 N. RUSH STREET, ITASCA, IL 60143





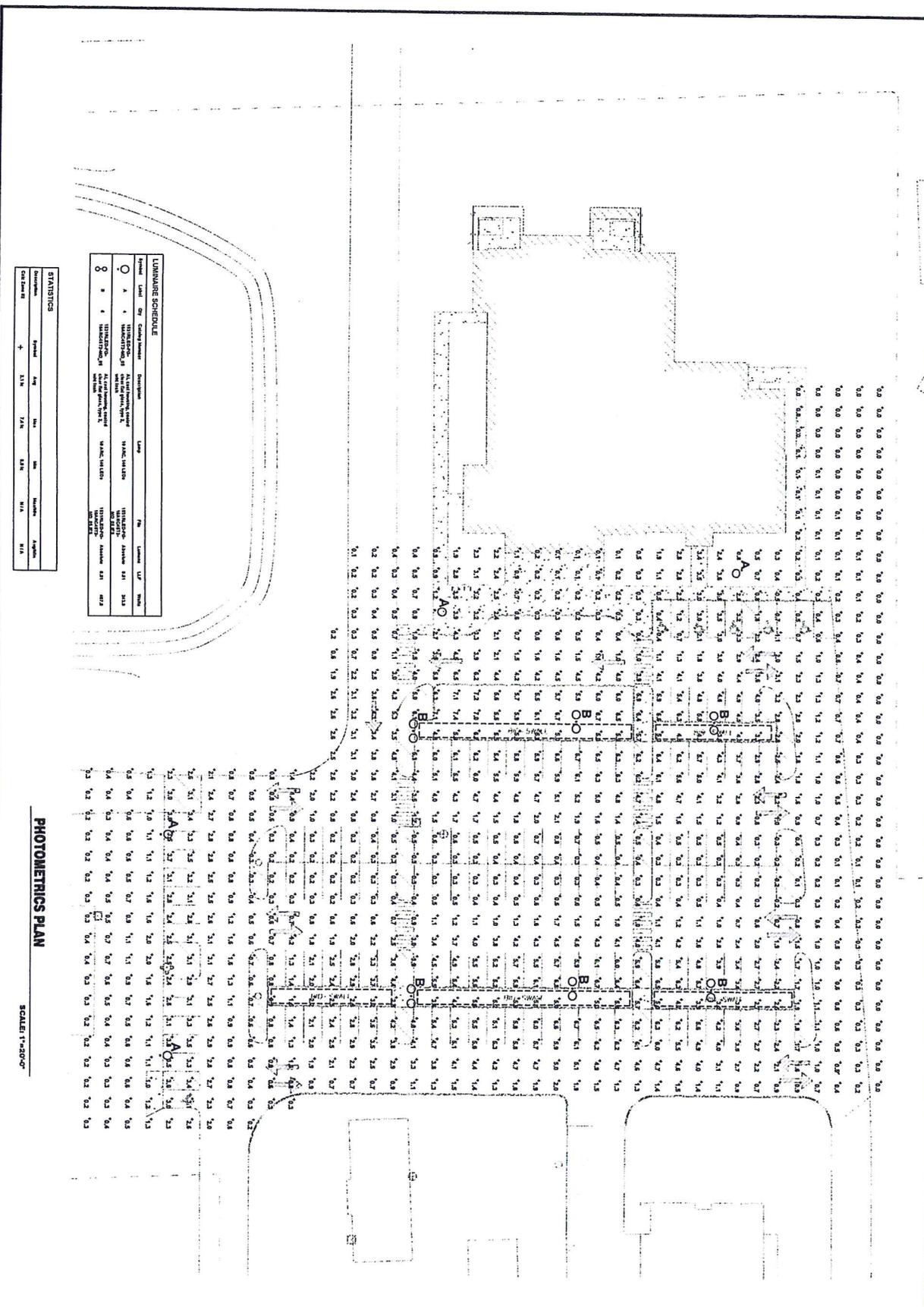
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FREDERICK BLAIR  
 100 N. Rush Street, Itasca, IL 60143  
 Telephone: (708) 441-1111



NEW PARISH CHURCH FOR:  
**ST. PETER THE APOSTLE PARISH**  
 524 N. RUSH STREET, ITASCA, IL 60143



**LUMINAIRE SCHEDULE**

Symbol	Level	Qty	Brand/Model	Description	Usage	Wattage	Beam Angle	Notes
○	A	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	B	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	C	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	D	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	E	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	F	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	G	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
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○	O	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
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○	Q	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
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○	U	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	V	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	W	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	X	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	Y	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO
○	Z	4	TRILUX-PRO	REACTORLESS	18" x 18" x 18"	24W	120°	TRILUX-PRO

**PHOTOMETRICS PLAN**  
SCALE: 1"=20'-0"

		<b>NEW PARISH CHURCH FOR: ST. PETER THE APOSTLE PARISH</b> 524 N. RUSH STREET, ITASCA, IL 60143															
<b>JNC ARCHITECTS</b> JAMES MICOLA, ARCHITECT 1000 N. RUSH STREET, SUITE 200 ITASCA, IL 60143 TEL: 630.251.1111 WWW.JNCARCHITECTS.COM																	
<b>WFT MECHANICAL, ELECTRICAL, PLUMBING</b> 1000 N. RUSH STREET, SUITE 200 ITASCA, IL 60143 TEL: 630.251.1111 WWW.WFTMECHANICAL.COM		<table border="1"> <tr> <td>DATE:</td> <td>11/22/2011</td> </tr> <tr> <td>BY:</td> <td>WFT</td> </tr> <tr> <td>CHECKED BY:</td> <td>WFT</td> </tr> <tr> <td>APPROVED BY:</td> <td>WFT</td> </tr> <tr> <td>PROJECT:</td> <td>ST. PETER THE APOSTLE PARISH</td> </tr> <tr> <td>NO.:</td> <td>1</td> </tr> <tr> <td>REV.:</td> <td></td> </tr> </table>		DATE:	11/22/2011	BY:	WFT	CHECKED BY:	WFT	APPROVED BY:	WFT	PROJECT:	ST. PETER THE APOSTLE PARISH	NO.:	1	REV.:	
DATE:	11/22/2011																
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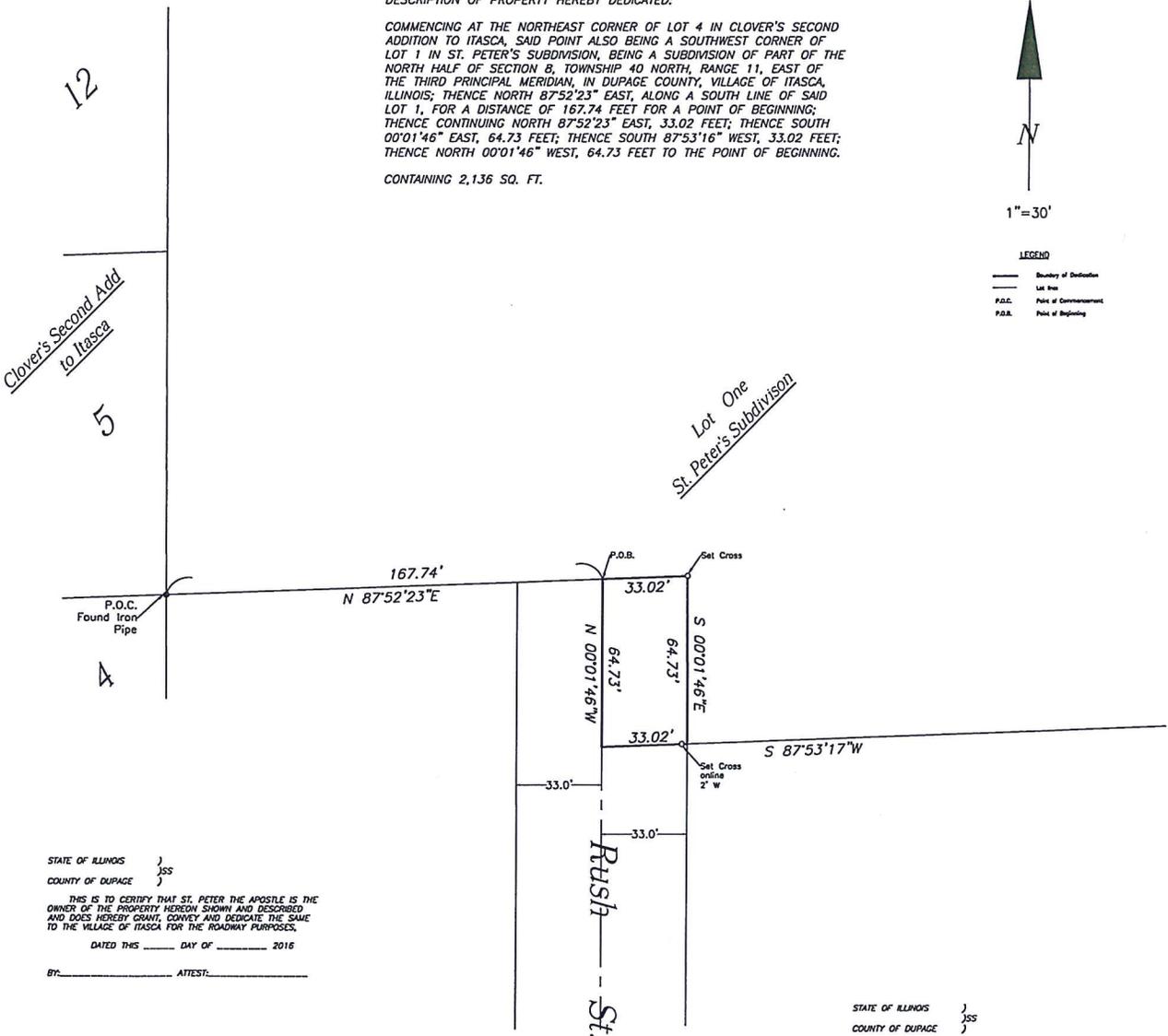
# PLAT OF ROAD DEDICATION

**DESCRIPTION OF PROPERTY HEREBY DEDICATED:**

COMMENCING AT THE NORTHEAST CORNER OF LOT 4 IN CLOVER'S SECOND ADDITION TO ITASCA, SAID POINT ALSO BEING A SOUTHWEST CORNER OF LOT 1 IN ST. PETER'S SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTH HALF OF SECTION 8, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, VILLAGE OF ITASCA, ILLINOIS; THENCE NORTH 87°52'23" EAST, ALONG A SOUTH LINE OF SAID LOT 1, FOR A DISTANCE OF 167.74 FEET FOR A POINT OF BEGINNING; THENCE CONTINUING NORTH 87°52'23" EAST, 33.02 FEET; THENCE SOUTH 00°01'46" EAST, 64.73 FEET; THENCE SOUTH 87°53'16" WEST, 33.02 FEET; THENCE NORTH 00°01'46" WEST, 64.73 FEET TO THE POINT OF BEGINNING.  
CONTAINING 2,136 SQ. FT.



**LEGEND**  
 --- Boundary of Dedication  
 --- Lot line  
 P.O.C. Point of Commencement  
 P.O.B. Point of Beginning



STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DUPAGE )  
 THIS IS TO CERTIFY THAT ST. PETER THE APOSTLE IS THE OWNER OF THE PROPERTY HEREON SHOWN AND DESCRIBED AND DOES HEREBY GRANT, CONVEY AND DEDICATE THE SAME TO THE VILLAGE OF ITASCA FOR THE ROADWAY PURPOSES.  
 DATED THIS \_\_\_\_ DAY OF \_\_\_\_ 2016  
 BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DUPAGE )  
 I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ OF ST. PETER THE APOSTLE, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENTS, APPEARED BEFORE ME THIS DAY, IN PERSON, AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE ANNEXED PLAT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CHURCH FOR THE USES AND PURPOSES THEREIN SET FORTH.  
 GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_ 201\_\_  
 \_\_\_\_\_  
 NOTARY PUBLIC

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DUPAGE )  
 I, \_\_\_\_\_ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.  
 GIVEN UNDER MY HAND AND SEAL AT ITASCA, ILLINOIS THIS \_\_\_\_ DAY OF \_\_\_\_ 201\_\_  
 \_\_\_\_\_  
 COUNTY CLERK

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DUPAGE )  
 THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS ON THIS \_\_\_\_ DAY OF \_\_\_\_ 201\_\_ AT \_\_\_\_ O'CLOCK \_\_\_\_ M.  
 \_\_\_\_\_  
 COUNTY RECORDER

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF KENDALL )  
 THIS IS TO CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY I HAVE MADE OF PROPERTY HEREON SHOWN AND DESCRIBED. ALL DISTANCES SHOWN IN FEET AND DECIMALS THEREOF. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.  
 WITNESS MY HAND AND SEAL AT OSWEGO, ILLINOIS THIS 5TH DAY OF FEBRUARY, 2015.

\_\_\_\_\_  
 LESLIE AARON DOOGS  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3833  
 LICENSE EXPIRATION DATE: NOVEMBER 30TH, 2016



Municipal Expertise. Community Commitment.

**TO:** Shannon Malik, Planner III  
**FROM:** Amy S. McKenna, PE, Consulting Engineer  
**DATE:** January 12, 2016  
**RE:** St. Peter the Apostle Church  
Site Plan Review

We received the following items:

- Comment Response Letter prepared by JNKA Architects, dated 12/18/15
- Site Plans prepared by JNKA Architects and Eriksson Engineering Associates, dated 12/18/15
- Floor Plans, Elevations, and Building Sections prepared by JNKA Architects, dated 12/18/15
- Landscape Plan prepared by David R. McCallum Associates, dated 12/17/15
- Tree Inventory prepared by Frederick Maier, dated 12/18/15
- Photometric Plan prepared by W-T Mechanical/Electrical Engineering, undated
- Traffic Study prepared by Eriksson Engineering Associates, dated 12/17/15

Based on the information provided by the applicant and the available records at this time, we offer the following comments and concerns as they relate to the civil engineering-related items. The comments refer to comment numbers in our previous review memo dated 11/30/15, unless the comment is a new comment.

## 1. Site and Parking Lot Improvements

### 1.1. The following comments pertain to the traffic study:

- 1.1.1. Include a discussion on traffic and parking volumes and traffic circulation patterns for the school. The most recent site plan included proposed 3 new parking spaces at what appears to be a secondary drop-off/pick-up area along the north side of the school. What impact will this have?
- 1.1.2. Include a brief discussion on trip generation based on values from ITE Trip Generation Manual and proposed seats within the new church building. Existing traffic volumes were used in the trip generation portion of the study, and we would like to know how these trips compare to design guidelines for use of the building at capacity.
- 1.1.3. If the 21 future parking spaces are built, we recommend that full access (not just emergency access) be allowed on Bryn Mawr. Even though the low volumes on site do not require this third access, this would be a long dead-end row of parking without access to Bryn Mawr. The third access point would also likely improve internal traffic circulation, as there would be more options for drivers as they leave the church.
- 1.1.4. Include information about Rush Street north of North Street (private roadway) in the Roadway Characteristics section of the study. The parking surveys show parking of vehicles along Rush Street; since this is a private roadway, we

recommend that parking be prohibited at this location. As a partial alternative, some overflow parking during major events could be allowed along the one-way drive on the east side of the school.

- 1.2. **Compliant.** It is noted that no new signage is proposed.
- 1.3. **Compliant.** Bicycle parking is being provided southwest of the new church building.
- 1.4. **Compliant.** The current trash collection area is being maintained, and the applicant feels that there is sufficient room for trash collection vehicles to circulate within the proposed wider drive aisle.
- 1.5. **Deferred to Fire District** - It appears that the fire truck will leave the pavement and encroach on the future parking spaces. The fire truck dimensions seem slightly different (shorter) than the fire district's ladder truck as well. We recommend providing a pavement radius where the emergency access drive meets the main parking lot.
- 1.6. **Repeat Comment** - Show sidewalk extensions between existing church buildings and the proposed parking lot and sidewalk. **At a minimum, extend the sidewalk west of the rectory to meet the parking lot pavement, as it stops a few feet short of the pavement.**
- 1.7. **Compliant.**
- 1.8. **Repeat Comment – Design does not meet Section 6.03 B.1.C. of Development Standards and Specifications and Section 12.03.10.f. of the Zoning Ordinance** - B-6.12 curb and gutter is required around the perimeter of parking lots per Section 12.03 of the Zoning Ordinance and Section 6.03 B.1.c of the Development Standards and Specifications. Section 6.03 B.1.c also requires that curb be constructed around the perimeter of all islands within parking lots. **We note that either perimeter curb or pavement grading adjustments will be required to direct stormwater runoff to stormwater management facilities.**
- 1.9. **Compliant.** The sidewalk along the accessible stalls has been widened.
- 1.10. **Repeat Comment** - A driveway apron and depressed curb should be provided on Bryn Mawr such that the fire truck movement can be made entirely on the pavement. **While the turning movement exhibit shows that emergency vehicles can maneuver in the street and use the driveway pavement if positioned properly, it is not realistic to expect an emergency vehicle to use caution and precision to make that kind of a maneuver when responding to an emergency. The Village has a standard driveway details (that include a radius for a commercial driveway such as this or a flare for a residential driveway) to allow for turning movements to be made on pavement. The Village standard commercial driveway detail should be included on the engineering plans, but will reduce future maintenance of the area around the driveway in the Village right-of-way.**
- 1.11. **Revised.** Option H has been eliminated.

## 2. Utility Improvements

- 2.1. **Repeat Comment** - The Village will require that the church dedicate utility easements for the existing sanitary sewer and water main through the site. Provide copies of any known easements or other documents governing these utilities. **The Public Works department has requested an easement between the 521 and 524 Rush (the parish center and the current church building) to cover the portion of sanitary sewer from the manhole between 521 and 524 to the south; we see that this sewer functions as a main for Rush Street properties (with the west and east pipes to this manhole being services), and the Village could maintain this as such. There is also water main that runs between Bryn Mawr and North in this area that is technically public main serving multiple customers.**
- 2.2. **Repeat Comment** - Provide protection for the fire hydrant at the southwest corner of the building. It is unclear whether this will be within pavement or grassy area. Curb and/or bollards will be required to keep vehicles from striking the hydrant.
- 2.3. **Compliant.** Sanitary manholes have been located out of wheel paths.
- 2.4. **Compliant.** The outfall flared end section for the proposed detention pond is no longer above the water main. **It is understood that the engineer is considering a couple of discharge options for the future final engineering design.**
- 2.5. **New Comment** – During final engineering, the engineer should provide elevations of utilities at crossings. Some utility locations might need to be revised to provide required water main separation requirements.

## 3. Stormwater Management Improvements

- 3.1. **Acknowledged.** Site runoff storage (detention) per Section 15-72 of the DuPage County Stormwater and Floodplain Ordinance will be required because there will be a cumulative increase of greater than 25,000 SF in impervious area.
- 3.2. **Compliant.** The grading of the bottom of the detention pond has been adjusted to provide a 2% bottom slope.
- 3.3. **Acknowledged.** The site design appears to incorporate BMP measures, as required in the DuPage County Stormwater and Floodplain Ordinance, because the net new impervious area exceeds 2,500 square feet with the proposed site plan options. The engineer should review the Countywide stormwater ordinance and consult the County's BMP Manual for guidance during final engineering. The following comments also pertain to BMP design:
  - The design of the BMPs should consider all tributary flow; they can be designed to either bypass or treat off-site flows.
  - BMPs for volume control should be designed for a 48-hour retention time; soil analysis is necessary to determine infiltration below dry wells.
  - The design should also include a long-term maintenance plan and guidelines for planting and maintenance of landscaping. Address use of porous soils and

treatment during and after construction; compaction may render some porous soils more impervious.

- 3.4. **Acknowledged.** The Village will require that the church dedicate a stormwater management easement over any BMP/detention facilities.
- 3.5. **Acknowledged.** During final engineering, the engineer should provide a stormwater management report to include a narrative and all pertinent storm sewer sizing and stormwater management design calculations. The engineer should address how flow will enter the bioswale areas and provide sizing calculations for any proposed curb cuts. The report and engineering plans should also provide detailed information about the overflow routes through the site and off-site from the detention pond.

*This review is only for general conformance with the design criteria established by the Village and is subject to both the completeness of the information submitted by the developer's professional staff and also the actual ability of the plan to perform in accordance with its intent. Actual field conditions may vary and additional items may arise which are not readily apparent based on this submittal. The developer's design professionals are responsible for performing and checking all design computations, dimensions, and details relating to design, construction, compliance with all applicable codes and regulations, and obtaining all permits. Additionally, other bodies of government may have jurisdiction over various aspects of this development. The developer should be advised that additional measures may be required based on actual field conditions and formal approvals of the other agencies.*

*Please note that this review does not include all site & landscaping issues per the Zoning Ordinance such as building setbacks, lot coverage, parking dimensions, etc. and the applicant shall refer to the Community Development Department for a complete review of such issues.*

**Should you have any questions or concerns, please do not hesitate to contact me at 815-412-2714 or amckenna@reltd.com.**